

PUBLIC SAFETY AND INFRASTRUCTURE AND DEVELOPMENT COMMITTEE

AGENDA

August 19, 2019

7:30 PM

304 E. Grand River, Board Chambers, Howell MI 48843

1. CALL MEETING TO ORDER

2. APPROVAL OF MINUTES

Minutes of Meeting Dated: July 22, 2019

3. APPROVAL OF AGENDA

4. REPORTS

4.1 Drain Commissioner

EGLE Audit of Soil Erosion and Sedimentation Control Program and Proposed Response

5. CALL TO THE PUBLIC

6. RESOLUTIONS FOR CONSIDERATION

6.1 Building Inspection

Resolution Authorizing the Upgrade of the IVR System and Purchase of SelectTXT Module from Selectron Technologies

6.2 Sheriff

Resolution Authorizing the Sheriff's Office and the County of Livingston to Apply for FY 2020 Byrne Justice Assistance Grant

6.3 Sheriff

Resolution Authorizing the Sheriff's Office and the County of Livingston to Apply for and Enter Into Contract with the State of Michigan, Office of Highway Safety Planning for Fiscal Year 2020 Secondary Road Patrol and Traffic Accident Prevention Program Grant

7. CALL TO THE PUBLIC

8. ADJOURNMENT

PUBLIC SAFETY AND INFRASTRUCTURE AND DEVELOPMENT COMMITTEE

MEETING MINUTES

July 22, 2019, 7:30 PM

304 E. Grand River, Board Chambers, Howell MI 48843

Members Present:

Kate Lawrence , Dennis Dolan , Douglas Helzerman, Carol Griffith

1. CALL MEETING TO ORDER

The meeting was called to order by Commissioner Lawrence at 7:30 p.m.

2. APPROVAL OF MINUTES

Minutes of Meeting Dated: June 17, 2019

Motion to approve the minutes as presented.

Moved By D. Dolan

Seconded By C. Griffith

Yes (4): K. Lawrence , D. Dolan , D. Helzerman, and C. Griffith

Motion Carried (4-0-0)

3. APPROVAL OF AGENDA

Motion to approve the Agenda as presented.

Moved By D. Helzerman

Seconded By D. Dolan

Yes (4): K. Lawrence , D. Dolan , D. Helzerman, and C. Griffith

Motion Carried (4-0-0)

4. REPORTS

None.

5. CALL TO THE PUBLIC

None.

6. RESOLUTIONS FOR CONSIDERATION

6.1 Sheriff

Resolution Authorizing an Agreement with Redstone Architects, Inc. to Provide a Renovation Needs Assessment for the Livingston County Sheriff's Office Building

Recommend Motion to the Finance Committee.

Undersheriff Warder presented the resolution and answered question from committee members.

Moved By D. Dolan

Seconded By D. Helzerman

Yes (4): K. Lawrence , D. Dolan , D. Helzerman, and C. Griffith

Motion Carried (4-0-0)

6.2 Department of Public Works

Resolution Requesting Use of County Grounds During Construction of Septage Receiving Station Expansion-Dewatering Project

Recommend Motion to the Finance Committee.

Brian Jonckheere was present to answer questions.

Moved By D. Helzerman

Seconded By D. Dolan

Yes (4): K. Lawrence , D. Dolan , D. Helzerman, and C. Griffith

Motion Carried (4-0-0)

6.3 Department of Public Works

Resolution Authorizing Issuance of Sewage Disposal Bonds (Septage Receiving Station), Series 2019 – Department of Public Works

Recommend Motion to the Finance Committee.

Brian Jonckheere, Michelle LaRose, and Rob Spaulding were present to answer questions.

Moved By C. Griffith

Seconded By D. Dolan

Yes (4): K. Lawrence , D. Dolan , D. Helzerman, and C. Griffith

Motion Carried (4-0-0)

7. CALL TO THE PUBLIC

None.

8. ADJOURNMENT

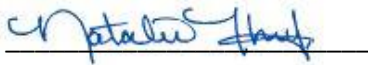
Motion to adjourn the meeting at 8:00 p.m.

Moved By C. Griffith

Seconded By D. Dolan

Yes (4): K. Lawrence , D. Dolan , D. Helzerman, and C. Griffith

Motion Carried (4-0-0)

A handwritten signature in blue ink, appearing to read "Natalie Hunt", is written over a horizontal line.

Natalie Hunt, Recording Secretary



LIVINGSTON COUNTY, MICHIGAN
OFFICE OF THE LIVINGSTON COUNTY DRAIN COMMISSIONER

2300 E. Grand River Avenue, Suite 105, Howell, MI 48843
Phone 517-546-0040 Fax 517-545-9658
Web Site: www.livgov.com/drain

Memorandum

To: Livingston County Board of Commissioners
From: Ken Recker
Date: 8/14/2019
**Re: EGLE Audit of Soil Erosion and Sedimentation
Control Program and Proposed Response**

Honorable Commissioners:

The Soil Erosion and Sedimentation Control Program has its roots in Act 347 of 1972, which was recodified in 1994 as Part 91, Soil Erosion and Sedimentation Control, of the Natural Resources and Environmental Protection Act, as amended. While it has undergone additional amendments since its recodification in 1994, its basic intent remains to be to minimize erosion and resultant deposition of sediment (sedimentation) into lakes, streams, and wetland systems. The previous Drain Commissioner, Richard Rudnicki, took over the responsibility to administer this program on behalf of Livingston County in the 1970s. The Drain Commissioner as the administrator of the program makes sense from the perspective of desiring to keep excess sediment, which reduces flow capacity, out of public and private drainage systems.

As with many other state laws, funding for the counties to enforce the mandate are not provided by the state. Thus my office requested the fee increase kindly granted earlier this summer, which is set to go into effect September 1, 2019.

The state, through the Department of Environment, Great Lakes, and Energy (EGLE), also retains the authority to monitor our program. This is typically done through an audit conducted every five years pursuant to MCL324.9105 (6). This audit was previously performed in 2010.

The audit was performed on May 14, 15, and 16, 2019. In an effort to make the building and construction community aware of its significance, I discussed the audit briefly in remarks made to the Home Builders Association of Livingston County at their annual dinner meeting in April of this year. We had also notified larger regional builders, in an effort to obtain improved compliance.

The results of the audit disapproving of our soil erosion control program were summarized in a letter from EGLE to my office dated June 21, 2019. It is worthwhile to note that, despite the tone of the letter, during her

site visit the auditor was complimentary of many facets of our program. The audit letter is included as attachment 1. My proposed response to EGLE is included as attachment 2.

Due to the depth and breadth of EGLE comments, attachment 2 is approximately 150 pages in length. In an effort to summarize the states concerns I would offer the following:

SESC Applications and Site Plans (from page 1 of EGLE correspondence):

The State is requiring that applications contain a project start date, and that plans submitted to our office contain a schedule that is current. As many of you are aware, in the world of small business schedules change frequently. For our commercial customers that have reasonable knowledge of their employer's internal operations this is probably not a significant issue. For a residential applicant attempting to save money by handling permitting on a home addition for a contract job, date and schedule information on the application form and the plans is unlikely to be accurate, and unlikely to assist us in effectively administering the SESC program.

SESC Inspections (pages 1 and 2 of EGLE correspondence):

I would define Part 91 as written as a "performance-based" statute. As opposed to the Building Code, which includes myriad details of requirements for the various construction components that go into a home, the plans for Part 91 are primarily oriented around the need to re-establish vegetation as quickly as possible, and keep sediment from leaving the construction site during the construction process. Inspection frequency is the nexus of the issue with respect to EGLE concerns. The minimum inspection frequency listed in guidance documents provided by the state is monthly, and sites greater than one acre of disturbance with a potential discharge to waters of the state are required to be inspected weekly and within 24 hours of a rain event.

For reference, in 2019 a total of 1,194 permits were issued, and a total of 3,047 inspections were documented in the county permitting system. Our current budgetary structure, as contemplated in the previously approved fee changes, allows for an average of four inspections during residential home construction spanning a two-year permit window. Commercial permits, which typically involve a larger area of disturbance with a somewhat higher degree of risk, are inspected on a more frequent basis over their twoyear duration. *It is important to note that increasing inspections on residential permits to a monthly frequency, as the auditor has suggested, would result in previously approved fees for residential permits more than doubling from those approved earlier this year.*

During the audit, staff indicated to the auditor that inspections are prioritized based on the type of permit and site conditions. The auditor indicated that developing a prioritization matrix is acceptable but must be approved by the state. As part of our response to the audit letter, we are proposing an inspection prioritization matrix to the state, whereby sites with higher erosive risk are inspected more frequently, and sites with reduced erosive risk are inspected less frequently. Higher erosive risk sites would include sites with steeper slopes, more erodible (sandy or loamy) soils versus non erodible (silty or clayey) soils, or sites with larger areas of disturbance. However, since our prioritization matrix may not allow all sites to achieve the states minimum monthly inspection guidance, we anticipate further discussions with the state on this matter.

Site Conditions (page 2 of EGLE correspondence):

While we were fortunate to not have substantial rain events during the onsite portion of the audit, consistent, if not heavy, rainfall in the weeks prior to the audit were reflected in conditions on many of the sites visited during the audit. In several instances, our Soil Erosion Inspectors disagreed with auditor dissatisfaction with site conditions. It is my opinion that many of the auditor's concerns regarding the conditions on construction sites were rooted in a lack of understanding of construction process, which resulted in unrealistic expectations for

site conditions. Regardless of my opinion, conditions at several construction sites visited during the audit could have been better.

EGLE does have the ability to pursue elevated enforcement under MCL 324.9105, however we do not anticipate elevated enforcement at this time.

If you have any questions regarding this memorandum feel free to contact us.

Attachments (2)



GRETCHEN WHITMER
GOVERNOR

STATE OF MICHIGAN
DEPARTMENT OF
ENVIRONMENT, GREAT LAKES, AND ENERGY
LANSING DISTRICT OFFICE



LIESL EICHLER CLARK
DIRECTOR

June 21, 2019

Violation Notice No. VN-009649

CERTIFIED MAIL: 7018-0360-0000-2599-3100

Mr. Brian Jonckheere
Livingston County Drain Commissioner
2300 East Grand River Avenue, Suite 105
Howell, Michigan 48843

Dear Mr. Jonckheere:

SUBJECT: Livingston County Drain Commissioner's Office
Soil Erosion and Sedimentation Control (SESC) Program Review
Violation Notice

A review of the Livingston County Enforcing Agency (CEA) SESC Program was conducted on May 14, 15, and 16, 2019, by the Department of Environment, Great Lakes, and Energy (EGLE), Water Resources Division (WRD), pursuant to Section 9110 of Part 91, SESC, of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended (NREPA). The review included an evaluation of the County's SESC ordinance, staff training, program funding, program documents, project files, compliance and enforcement efforts, and on-site conditions. Ms. Laura Mathews of the WRD, and Mr. Ken Recker, Ms. Michelle LaRose, Mr. Mitch Dempsey, and Ms. Shelly Messing of Livingston County participated in the audit.

A summary of the findings of the preliminary review is enclosed. The Livingston CEA Program cannot be approved at this time because the following items or program elements do not meet the requirements set forth for an "approvable" program in Part 91 of the NREPA:

- SESC Applications: The CEA is required to provide an application containing state-prescribed information to an applicant. Several of the applications reviewed during the audit did not contain the required state-prescribed information.
- SESC Site Plans: The WRD reviewed 19 SESC Plans during the audit. Eighteen of the plans did not meet the requirements of Rule 1703. One of the permitted plans included all of the required elements; however, the timing and sequencing was not appropriate. Please note, the CEA shall not issue permits unless the SESC Plans meet the requirements of Rule 1703 and the plan will effectively reduce accelerated soil erosion and sedimentation.
- SESC Inspections: The CEA shall conduct and document inspections with appropriate information to assure proper administration of the SESC Program. SESC inspections are not being performed at an appropriate frequency to assure minimization of soil

erosion and off-site sedimentation. Please note, adequate inspection frequency is, generally, an average of one inspection per month per site.

- Site Conditions: The WRD observed that site conditions were noncompliant with Part 91 of the NREPA, particularly residential permitted sites. SESC measures were not installed or were in need of maintenance. One site was also finalized prior to being stabilized.

Additional information pertaining to the areas evaluated during the review is detailed in the enclosed Summary Inspection Report.

The program element deficiencies identified in the Violation Notice are violations of Part 91 of the NREPA, and are considered to be ongoing until Livingston County can submit evidence indicating that the violations have been adequately resolved.

Livingston County should take immediate action to achieve and maintain compliance with the terms and conditions of Part 91 of the NREPA.

Please submit a written report, with pictures, to this office by **August 23, 2019**, via MiWaters, to show evidence that the above-referenced violations have been corrected or that Livingston County has a plan for returning to compliance. At a minimum, the response shall include a corrective action plan, with pictures, that addresses items identified in the enclosed Inspection Report titled, "SESC/CSW – Audit Areas Evaluated," specifically Items 1, 4, 7, 8, and 9. It should also include the following: post-review inspection reports; an updated site inspection prioritization matrix; updated SESC Plans that meet the requirements of Rule 1703; and corrective actions, with photos, that were implemented on-site.

Written responses may be submitted via our electronic database, MiWaters. An authorized user is required to submit responses. Our records indicate Ms. Michelle LaRose is the authorized user. Responses may be submitted by clicking on "dashboard," then "upcoming," and "begin submission" next to the appropriate choice. If the submission is not submitted by the due date, it will be located under the "priority" tab.

The Livingston County Drain Commissioner's Office's cooperation and assistance during the review was appreciated, and we anticipate your full cooperation in resolving this matter. If you have any questions, please contact me at 517-388-3404; mathewsL2@michigan.gov; or EGLE, WRD, Lansing District Office, 525 West Allegan Street, Constitution Hall, 1st Floor South, P.O. Box 30242, Lansing, Michigan 48909-7742.

Sincerely,



Laura Mathews
Environmental Quality Analyst
Lansing District Office
Water Resources Division

Livingston County
CEA SESC Program
Violation Notice No. VN-009649
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Page 3

Enclosure: Summary Inspection Report

cc/enc. Ms. Michelle LaRose, Livingston County (electronic)
Mr. Ken Recker, Livingston County (electronic)
Mr. Mitch Dempsey, Livingston County (electronic)
Ms. Shelly Messing, Livingston County (electronic)
Mr. Charles Bennet, EGLE, WRD

Livingston CDC-CEA: 116656

SESC/CSW – Audit Areas Evaluated

Inspector: Laura Mathews

Start Date: June 7, 2019

Areas Evaluated

Overall, what was the Soil Erosion Agency Performance in the audit?

Unsatisfactory

Laura Mathews of the Water Resources Division (WRD), and Michelle LaRose, Mitch Dempsey, Shelly Messing, and Ken Recker of the Livingston County Drain Commissioner's Office (LCDC), were present during the audit. The LCDC Office is a County Enforcing Agency (CEA). LCDC issued 1,194 Soil Erosion and Sedimentation Control (SESC) Permits in the last year; 1,093 of the permits were residential, 85 were commercial/industrial, 15 were utility permits, and 1 was a sand and gravel permit. During this audit, 12 residential and seven industrial/commercial files were reviewed and the sites inspected. The LCDC CEA Program cannot be approved at this time because the following program elements do not meet the requirements set forth for an "approvable" program in Part 91, SESC, of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended (NREPA): Applications, Inspections, Permits, Plans, and Site Conditions.

The WRD inspected the following residential sites:

1. 9870 Willow Oak Drive – The project started April 25, 2019, and is still open. The SESC Permit number is PSER2019-00170.
2. 9656 Willow Oak Drive – The project started on September 18, 2018, and is still open. the SESC Permit number is PSER2018-00674.
3. 6297 Summerbrook Circle – The project started July 5, 2018, and is still considered open. The SESC Permit number is PSOL2018-00363.
4. 11933 Read Road – The project started April 27, 2018, and is still considered open. The SESC Permit number is PSER2018-0071.
5. 5610 Radiant – The project started August 30, 2018, and is still considered open. The SESC Permit number is PSER2018-0071.
6. 8270 Birchfield Drive – The project started September 18, 2018, and is still considered open. The SESC Permit number is PSER2018-00605.
7. 6215 Summerbrook Circle – The project started July 23, 2018, and is still considered open. The SESC Permit number is PSOI2018-00749.
8. 5607 Radiant Ave – The project started August 30, 2018, and is still considered open. The SESC Permit number is PSER2018-00718.
9. 7136 Ira Lane – The project started December 3, 2018, and is still open. The SESC Permit number is PSER2018-01067.
10. 164 Slider Avenue – The project started April 14, 2017, and was closed and considered stabilized on August 21, 2018. The SESC Permit number was PSOI2017-00066.
11. 11077 Ridge View Trail – The project started July 11, 2017, and is considered closed. The SESC Permit number was PSER2017-00575.
12. 4606 Ruby Lane – The project started April 17, 2019, and is still considered open. The SESC Permit number is PSER2019-00153.

The WRD inspected the following commercial sites:

13. Willow Woods (Winans Lake Road and Musch Road) – The project started April 28, 2017, and is still open. The SESC Permit number is PSOI2017-00018.
14. Green Oak Crossing (Spicer Road and M-36) – The project started August 9, 2018, and is still open. The SESC Permit number is PSESC2018-00053.
15. CVS Pharmacy Store #5741 (7420 East M-36, Hamburg) – The project started October 11, 2018, and was closed and considered stabilized on March 28, 2019. The SESC Permit number was PSESC2018-00034.
16. Pine Ridge-Phase 3 (Oceola Twp) – The project consists of constructing the grading and

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SESC/CSW – Audit Areas Evaluated

Inspector: Laura Mathews

Start Date: June 7, 2019

Areas Evaluated

underground construction of a residential development. The project started October 25, 2018, and is still open. The SESC Permit number is PSESC2018-00066.

17. Aldi Food Market #51 Remodel and Expansion (2260 Grand River Avenue, Howell) – The project started on June 15, 2009, and was considered closed and stabilized on August 18, 2009. The SESC permit number was PSEC2018-00021.

18. Fowlerville Veterinary Clinic (6440 Grand River, Fowlerville) – The project consisted of constructing a building addition and parking lot. The project started April 10, 2018, and was considered stabilized and closed in February 2019. The SESC Permit number was PSESC2018-00001.

19. Proposed Memory Care Legacy-Addition (1500 Byron Road) – The project started January 28, 2019, and is still considered open. The SESC Permit number is PSESC2019-00091.

1. Applications

Unsatisfactory

The county or local enforcing agency is required to provide an application containing state-prescribed information to an applicant. A landowner or designated agent shall submit an application for a permit to the appropriate enforcing agency. Several of the applications reviewed during the audit did not contain the required state-prescribed information.

The WRD inspected the following residential sites:

1. 9870 Willow Oak Drive – (Open). The application did not contain the distance to the nearest lake or stream and the project start date.
2. 9656 Willow Oak Drive – (Open). The application did not contain the distance to the nearest lake or stream and the project start date.
3. 6297 Summerbrook Circle – (Open). The application did not contain the distance to the nearest lake or stream and the project start date.
4. 11933 Read Road – (Open). The application did not contain the distance to the nearest lake or stream and the project start date.
5. 5610 Radiant – (Open). The application did not contain the distance to the nearest lake or stream and the project start date.
6. 8270 Birchfield Drive – (Open). The application did not contain the distance to the nearest lake or stream and the project start date.
7. 6215 Summerbrook Circle – (Open). The application did not contain the distance to the nearest lake or stream and the project start date.
8. 5607 Radiant Ave – (Open). The application did not contain the distance to the nearest lake or stream and the project start date.
9. 7136 Ira Lane – (Open). The application did not contain the name or distance to the nearest lake or stream and the project start date.
10. 164 Slider Avenue – (Closed). The application did not contain the distance to the nearest lake or stream and the project start date.
11. 11077 Ridge View Trail – (Closed). The application did not contain the distance to the nearest lake or stream and the project start date.
12. 4606 Ruby Lane – (Open). The application did not contain the distance to the nearest lake or stream and the project start date.

The WRD inspected the following commercial sites:

13. Willow Woods (Winans Lake Road and Musch Road) – (Open). The application did not contain the project start and end dates.

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14. Green Oak Crossing (Spicer Road and M-36) – (Open). The application did not contain the project start and end dates.
15. CVS Pharmacy Store #5741 (7420 East M-36, Hamburg) – (Closed). The application did not contain the project type, project description, size of earth change, name and distance to the nearest lake or stream, and the project start and end dates.
16. Pine Ridge-Phase 3 (Oceola Twp) – (Open). The application did not contain the project start and end dates.
17. Aldi Food Market #51 Remodel and Expansion (2260 Grand River Avenue, Howell) – (Closed). The application did not contain the distance to the nearest lake or stream, or the project start and end dates.
18. Fowlerville Veterinary Clinic (6440 Grand River, Fowlerville) – (Closed). The application did not contain the project start and end dates or the distance to the nearest lake or stream.
19. Proposed Memory Care Legacy-Addition (1500 Byron Road) – (Open). The application did not contain the project start and end dates.

2. Compliance & Enforcement

Satisfactory

Livingston County has written Compliance and Enforcement procedures within their ordinance. The ordinance states if they determine that soil erosion and sedimentation of adjacent properties or waters of the state has or will reasonably occur, it may notify the landowner by mail of its determination to cease and desist all activities. The landowner shall have five days from the mailing date to implement and maintain SESC measures. If the landowner does not correct the violation within five days, the Drain Commissioner's office may revoke the SESC Permit. Concurrently, or alternatively, the Drain Commissioner's office may enter and implement SESC measures that do not exceed \$10,000.00. A person who fails to cease and desist may be subject to a civil fine. The Drain Commissioner's Office Ordinance also designates ticket writing authority to appear in District Court. They also collect bonds when issuing permits.

The Drain Commissioner's office stated they have written 462 violations within the past year; 19 violations for earth change without a permit; 354 violations for residential permits; and 87 violations for commercial permits. They have also issued one ticket and one stop work order within the past year.

3. Funding

Satisfactory

The LCDC's Office SESC program is funded by program fees. They charge separate fees for routine inspections, permit issuance, violation follow-up inspections, and permit reissuance. They do not believe they are adequately funded; however, the recently requested a fee increase and are in the process of evaluating the fee structure.

4. Inspections

Unsatisfactory

The WRD inspected the following residential sites as part of the audit. The LCDC Office conducted inspections as follows:

1. 9870 Willow Oak Drive – (Open). An inspection was completed on April 25, 2019.
2. 9656 Willow Oak Drive – (Open). An inspection was completed on September 18, 2018, February 8, 2019, and February 14, 2019.
3. 6297 Summerbrook Circle – (Open). Inspections were completed on June 5, 2018, June 29,

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- December 17, 2018, January 10, 2019, March 19, 2019, March 28, 2019, and April 23, 2019.
4. 11933 Read Road – (Open). Inspections were completed on April 27, 2018, July 17, 2018, March 19, 2019, and May 3, 2019 (complaint prompted).
 5. 5610 Radiant – (Open). Inspections were completed on August 30, 2018, September 6, 2018, January 10, 2019, and January 22, 2019.
 6. 8270 Birchfield Drive – (Open). Inspections were completed on September 18, 2018, October 11, 2018, October 24, 2018, March 22, 2019, and April 2, 2019.
 7. 6215 Summerbrook Circle – (Open). Inspections were completed on July 23, 2018, March 19, 2019, March 28, 2019, and April 23, 2019.
 8. 5607 Radiant Ave – (Open). An inspection was completed on August 30, 2018, September 6, 2018, and January 10, 2019. The last August and January inspections failed and there was no follow-up to the January inspection.
 9. 7136 Ira Lane – (Open). Inspections were completed on December 3, 2018, and March 5, 2019.
 10. 164 Slider Avenue – (Closed). Inspections were completed on April 14, 2017, May 19, 2017, June 11, 2018, and August 21, 2018.
 11. 11077 Ridge View Trail – (Closed). Inspections were completed on July 7, 2017, March 15, 2018, May 2, 2018, and May 10, 2019.
 12. 4606 Ruby Lane – (Open). Inspections were completed on April 17, 2019, and April 24, 2019.

The WRD inspected the following commercial sites as part of the audit. The LCDC Office conducted inspections as follows:

13. Willow Woods (Winans Lake Road and Musch Road) – (Open) Inspections began on April 27, 2017, and were completed twice a month by the LCDC Office.
14. Green Oak Crossing (Spicer Road and M-36) – (Open). Inspections were completed on August 9, 2018, September 10, 2018, November 13, 2018, December 19, 2018, January 28, 2019, March 1, 2019, and May 6, 2019.
15. CVS Pharmacy Store #5741 (7420 East M-36, Hamburg) – (Closed). Only an initial inspection on October 11, 2018, and a final inspection on March 28, 2019, were completed.
16. Pine Ridge-Phase 3 (Oceola Twp) – (Open). Inspections were completed on October 25, 2018, December 26, 2018, January 4, 2019, February 6, 2019, March 11, 2019, and May 9, 2019.
17. Aldi Food Market #51 Remodel and Expansion (2260 Grand River Avenue, Howell) – (Closed). Inspections were only conducted on June 15, 2009, and August 18, 2009.
18. Fowlerville Veterinary Clinic (6440 Grand River, Fowlerville) – (Closed). Inspections were completed on April 10, 2018, May 15, 2018, July 16, 2018, August 13, 2018, August 22, 2018, September 17, 2018, October 1, 2018, and October 15, 2018. The agency stated that the October 15, 2018, inspection was the final inspection and it stated that the site was considered stabilized and closed in February 2019. During the WRD audit inspection, the WRD observed that the site was not permanently stabilized. The LCDC staff stated that during the inspection in February 2019, the site was permanently stabilized. The WRD instructed the LCDC that it would be beneficial to include photos of the final termination inspections. Also, inspections shall continue, a permit shall be issued, and the permittee shall maintain SESC measures until the site is permanently stabilized.
19. Proposed Memory Care Legacy-Addition (1500 Byron Road) – (Open). Inspections were completed on January 28, 2019, February 4, 2019, April 1, 2019 (failed), and April 23, 2019.

The agency is required to conduct inspections at a frequency to assure minimization of soil erosion and off-site sedimentation. Please note, adequate inspection frequency is, generally, an average of one inspection per month per site. However, site-specific characteristics may require more

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SESC/CSW – Audit Areas Evaluated

Inspector: Laura Mathews

Start Date: June 7, 2019

Areas Evaluated

frequent inspections of particular sites to ensure minimization of soil erosion and off-site sedimentation. The WRD recommends developing a site inspection prioritization matrix for review.

The current inspection forms do not allow the agency to add observations or details unless the inspection has failed. The agency shall update the inspection form to include observations and additional information.

5. Ordinance/Resolution/Procedures

Satisfactory

The LCDC Office adopted an ordinance that is more restrictive than Part 91 of the NREPA. The ordinance states that SESC Permits are required for a landowner who engages in an earth change that disturbs one or more acres or within 500 feet of waters of the state. Waters of the state includes wetlands. If the earth disturbance is over 500 feet from waters of the state or under one acre, the landowner is required to obtain a waiver. The waiver includes a signed affidavit attesting to the extent of the earth change and its proximity to waters of the state. The waiver does not relieve the landowner for controlling erosion and sedimentation and is not an exemption from enforcement. The ordinance also requires the SESC Plan to be prepared under the direction of a professional engineer, at a scale of 1 inch=100 feet, and requires two sets of plans, which is also more restrictive than Part 91 of the NREPA.

6. Other

Not Applicable

7. Permits

Marginal

The SESC Permits reviewed during the audit included all of the required state-prescribed information. The LCDC Office issued 1,194 SESC Permits in the last year. This included 1093 residential permits, 85 commercial permits, 15 utility permits, and 1 sand and gravel permit.

Currently, the LCDC Office issues a commercial SESC grading permit to the landowner for large residential developments. Once the landowner is ready to construct an individual home on a separate lot, the LCDC Office then issues a second residential SESC Permit to the landowner for that lot. The commercial SESC Permit remains in place for the rest of the residential development. This practice is not in compliance with Part 91 of the NREPA because a property shall not have two SESC Permits.

An alternative that was discussed during the audit was to issue the commercial SESC Permit to the landowner for grading the site. Once the landowner is ready to construct the homes on the individual lots, the SESC Permit and plan may be modified to include the construction of the individual lot. The SESC Permit may be terminated once the entire site is permanently stabilized.

8. Plans

Unsatisfactory

The SESC Plans that were reviewed during the audit did not contain all of the required information under Rule 1703.

The WRD inspected the following residential sites:

1. 9870 Willow Oak Drive – (Open). The SESC Plan did not contain a site location sketch, the legal description, soils information, timing and sequencing of earth changes, permanent SESC measures, proper SESC measures installation instruction, and a maintenance plan for permanent measures.

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SESC/CSW – Audit Areas Evaluated

Inspector: Laura Mathews

Start Date: June 7, 2019

Areas Evaluated

2. 9656 Willow Oak Drive – (Open). The SESC Plan did not contain a site location sketch, soils information, timing and sequencing of earth changes, permanent SESC measures, and proper SESC measures installation instructions.
3. 6297 Summerbrook Circle – (Open). The SESC Plan did not contain the site location sketch, legal description, the contours or slope information, permanent SESC measures, proper SESC measures installation instructions, and a maintenance plan for permanent measures.
4. 11933 Read Road – (Open). The SESC Plan did not contain the timing and sequencing of earth changes, permanent SESC measures, proper SESC measures installation instructions, and a maintenance plan for permanent measures. Also, it did not include the installation of the sea wall. Please note, seawalls are required to be permitted under Part 91 of the NREPA.
5. 5610 Radiant – (Open). The SESC Plan did not contain soils information, timing and sequencing of earth changes, permanent SESC measures, and a maintenance plan for permanent measures.
6. 8270 Birchfield Drive – (Open). The SESC Plan did not contain the site location sketch, soils information, timing and sequencing of earth changes, permanent SESC measures, and proper SESC measures installation instructions.
7. 6215 Summerbrook Circle – (Open). The SESC Plan did not contain the contours or slope information, permanent SESC measures (including seeding information), and a maintenance plan for permanent measures.
8. 5607 Radiant Ave – (Open). The SESC Plan did not contain soils information, timing and sequencing of earth changes, permanent SESC measures, proper SESC measures installation instructions, and a maintenance plan for permanent measures.
9. 7136 Ira Lane – (Open). The SESC Plan did not contain the site location sketch, soils information, timing and sequencing of earth changes, permanent SESC measures, proper SESC measures installation instructions, and a maintenance plan for permanent measures.
10. 164 Slider Avenue- (Closed). The SESC Plan did not contain the legal description, soils information, limits of earth changes, timing and sequencing of earth changes, permanent SESC measures, proper SESC measures installation instructions, and a maintenance plan for permanent measures.
11. 11077 Ridge View Trail – (Closed). The SESC Plan did not contain the legal description, contours or slope information, soils information, timing and sequencing of earth changes, permanent SESC measures, proper SESC measures installation instructions, and a maintenance plan for permanent measures.
12. 4606 Ruby Lane – (Open). The SESC Plan did not contain soils information, timing and sequencing of earth changes, permanent SESC measures, proper SESC measures installation instructions, and a maintenance plan for permanent measures.

The WRD inspected the following commercial sites:

13. Willow Woods (Winans Lake Road and Musch Road) – (Open). The timing and sequencing on the SESC Plan was not appropriate. The site contains several critical and sensitive areas, including steep slopes and wetlands. The timing and sequencing did not phase the project. Also, the SESC Plan did not lay out when the seeding and stabilization would occur. The LCDC Office should not approve plans without an appropriate timing and sequencing schedule.
14. Green Oak Crossing (Spicer Road and M-36) – (Open). The SESC Plan met the requirements of Rule 1703. However, the timing and sequencing called for seeding to occur in late November 2018. This is outside of the acceptable seeding window in Michigan. The LCDC Office should not approve plans without an appropriate timing and sequencing schedule.

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Inspector: Laura Mathews

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Areas Evaluated

schedule.

15. CVS Pharmacy Store #5741 (7420 East M-36, Hamburg) – (Closed). The SESC Plan did not contain the legal description, proximity to lakes and streams, soils information, timing and sequencing of earth changes, locations where SESC measures were installed, temporary SESC measures, proper SESC measures installation instructions, and a maintenance plan for permanent measures.

16. Pine Ridge-Phase 3 (Oceola Twp) – (Open). The timing and sequencing schedule was not specific enough to indicate appropriate timing and sequencing for the project. For example, it states that seeding and stabilization will occur from the end of October until May. This is outside the acceptable seeding window in Michigan. The LCDLDC Office should not approve plans without an appropriate timing and sequencing schedule. Also, the location of where the stabilization will occur and where the permanent SESC measures will be installed was missing.

17. Aldi Food Market #51 Remodel and Expansion (2260 Grand River Avenue, Howell) – (Closed). The SESC Plans did not contain the proximity to lakes or streams.

18. Fowlerville Veterinary Clinic (6440 Grand River, Fowlerville) – (Closed). The timing and sequencing schedule was not specific enough to indicate appropriate timing and sequencing for the project. The LCDLDC Office should not approve plans without an appropriate timing and sequencing schedule. Also, the maintenance plan for permanent measures was not shown on the plans.

19. Proposed Memory Care Legacy-Addition (1500 Byron Road) – (Open). The SESC Plan did not contain the proximity to lakes and streams, soils information, and timing of earth changes.

Please note, SESC Plans shall not be approved unless they meet the requirements of Rule 1703 and are appropriate for site conditions. In addition, SESC Permits shall not be issued until they have an approved plan.

9. Site Conditions

Unsatisfactory

The WRD inspected the following residential sites:

1. 9870 Willow Oak Drive – (Open). The WRD observed significant track-out from the gravel access road. Also, the silt fence was knocked down. The WRD observed inlet protection was installed in catch basins along the road.

2. 9656 Willow Oak Drive – (Open). The WRD observed that the silt fence installed on-site was not maintained. The gravel drive appeared to be maintained and functional. Inlet protection in the catch basins appeared to be installed correctly and functional.

3. 6297 Summerbrook Circle – (Open). The WRD observed track-out onto the street. The catch basins did not contain inlet protection. The silt fence was not maintained, resulting in a discharge of sediment onto the street.

4. 11933 Read Road – (Open). The WRD observed that the silt fence was not installed correctly. They shall ensure that two pieces of silt fence are properly wrapped. Beyond the silt fence of the permitted earth disturbance, the WRD observed that a seawall had been installed. The earth adjacent to the seawall was disturbed and SESC measures were not installed. The LCDLDC is required to permit seawalls. Please provide the permit for the seawall and the approved SESC Plan in the corrective action plan.

5. 5610 Radiant – (Open)> The WRD observed some silt fence was not maintained. The tracking mat appeared to be functional; however, the silt fence did not continue across the front of the property to the tracking mat. This resulted in disturbed soils having the potential to discharge

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The permittee shall extend the silt fence and move it closer to the curb to prevent the discharge of sediment to the road.

6. 8270 Birchfield Drive – (Open). The WRD observed that some silt fence was not maintained.

7. 6215 Summerbrook Circle – (Open). The WRD observed track-out onto the street. The catch basins did not contain inlet protection. The silt fence was not maintained, resulting in a discharge of sediment onto the street.

8. 5607 Radiant Ave – (Open). The WRD observed track-out onto the road. It appeared that the silt fence was not installed correctly or in the appropriate locations to prevent sediment from discharging to the road. The silt fence shall continue to the gravel access road. Also, there is over a foot of exposed soil between the silt fence and the road. Lastly, a port-a-potty was installed over the silt fence.

9. 7136 Ira Lane – (Open). The access road at the site appeared to not be maintained. This resulted in excessive track-out of sediment from the site to the road. Inlet control was not installed in the catch basins, resulting in a high potential for tracked-out sediment to discharge to the storm system.

10. 164 Slider Avenue – (Closed). The site appeared to be stabilized.

11. 11077 Ridge View Trail – (Closed). The site appeared to be stabilized.

12. 4606 Ruby Lane – (Open). The WRD observed that the gravel mat had deep tire tracks from trucks going in and out of the site. This resulted in excessive sediment track-out onto the road. Catch basins in the road did have inlet protection as part of the commercial permit for the development. The WRD also observed some of the silt fence was down and not maintained.

The WRD inspected the following commercial sites:

13. Willow Woods (Winans Lake Road and Musch Road) – (Open). The WRD observed inlet protection installed in catch basins at the site. Also, the riprap, check dams, and erosion control mats looked to be functional and well maintained. Vegetation is starting to grow on the steep slopes surrounding the wetlands. The WRD observed some silt fence was not maintained.

14. Green Oak Crossing (Spicer Road and M-36) – (Open). Vegetation appeared to be growing around the site. Some erosion was observed in the basin, and the area shall be stabilized within five days of final grade. The silt fence and inlet protection installed in the catch basins appeared to be well maintained.

15. CVS Pharmacy Store #5741 (7420 East M-36, Hamburg) – (Closed). The site appeared to be stabilized.

16. Pine Ridge-Phase 3 (Oceola Twp) – (Open). The WRD observed dust issues on the site. Phase 2 will be done mid-summer. Please note, permanent stabilization shall occur within five days of final grade. Dust control and other temporary measures, and temporary stabilization, shall be implemented prior to final grade. Disturbed soil is located adjacent to the road. The curb was recently installed and is preventing soil from discharging to the road. In March, there was a discharge of sediment-laden water to the road when a pipe in this area overflowed. The LCDC responded to this discharge. It appeared that the access road needed to be refreshed and was no longer functional. The WRD observed track-out on the road. There are many critical and sensitive areas surrounding the site. The WRD observed some areas where silt fence had been breached and sediment had overflowed into the wetland. Additional silt fence had been installed behind it. The permittee shall ensure that the additional silt fence is not installed in the wetland or outside the limits of disturbance. The WRD also observed large rills and gullies in the soil along the slopes. The earth change shall be conducted and planned to reduce soil erosion and off-site

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sedimentation. Also, the earth change shall be designed and constructed in a way that limits the exposed area for the shortest time possible. If work has ceased in this area for a period of time, stabilization shall occur. The LCDC's Part B, administrative policy, states the following items: portions of a site near a sensitive and critical area should rarely be disturbed; permittee shall disturb only the first phase areas and stabilize those phases prior to beginning subsequent phases; and a grass or mulch cover should be established within two weeks after soil exposure. Some areas of silt fence appeared to be over 40 to 50 percent full. Silt fence should be cleaned and sediment removed once it reaches 40 to 50 percent full.

17. Aldi Food Market #51 Remodel and Expansion (2260 Grand River Avenue, Howell) – (Closed). The site appeared to be permanently stabilized.

18. Fowlerville Veterinary Clinic (6440 Grand River, Fowlerville) – (Closed). During the WRD audit inspection, the WRD observed that the site was not permanently stabilized. The LCDC staff stated that during the inspection in February 2019, the site was permanently stabilized. The WRD instructed the LCDC that it would be beneficial to include photos of the final termination inspections. Also, inspections shall continue, a permit shall be issued, and the permittee shall maintain SESC measures until the site is permanently stabilized.

19. Proposed Memory Care Legacy-Addition (1500 Byron Road) – (Open). The WRD observed some unstabilized areas outside of the silt fence boundary. It appeared some sediment had discharged to the road. Inlet protection was installed in the catch basins; however, the permittee shall still install SESC measures to prevent erosion and sedimentation. Some silt fence appeared to not be maintained and had holes. The detention basin was temporarily stabilized with erosion control blankets and riprap.

10. Training/Staffing

Satisfactory

The CDC Office currently has ten staff with SESC responsibilities, seven of them have valid SESC certificates. The three remaining staff members are working on obtaining valid SESC certificates and are not currently conducting inspections or reviewing and approving SESC Plans.



BRIAN JONCKHEERE
Livingston County Drain Commissioner
2300 E. Grand River Ave., Suite 105, Howell, MI 48843
Phone 517-546-0040 / Fax 517-545-9658
www.livgov.com

August 23, 2019

Ms. Laura Mathews
Environmental Quality Analyst
EGLE Water Resources Division
525 W. Allegan St
Lansing, MI 48909

RE: Response to VN-009649

Dear Ms. Mathews,

The Livingston County Drain Commissioner (LCDC) received a Violation Notice VN-009649 dated June 21, 2019 from EGLE regarding the County Enforcing Agency (CEA) program administered by the LCDC under Part 91 of NREPA. Enclosed with this letter is the information requested in the Violation Notice, including a description of activities undertaken in response to the audit and supporting documentation.

If you have questions or require additional information, please contact me.

Sincerely,

Mitch Dempsey
Environmental Projects Manager
mdempsey@livgov.com
517-552-6910

cc: Brian Jonckheere, Drain Commissioner
Ken Recker, Chief Deputy Drain Commissioner
Michelle Larose, Deputy Drain Commissioner

Livingston County Drain Commissioner
Response to CEA SESC Audit – VN-009649

Below is the detailed response to the Violation Notice (VN-009649) received by the Livingston County Drain Commissioner's office for the CEA Part 91 audit.

GENERAL (comments in EGLE cover letter dated 6/21/2019)

- *SESC Applications: The CEA is required to provide an application containing state-prescribed information to an applicant. Several of the applications reviewed during the audit did not contain the required state-prescribed information.*

LCDC has changed the current application forms to include all the required information. (Attachment 1).

- *SESC Site Plans: The WRD reviewed 19 SESC plans during the audit. Eighteen of the plans did not meet the requirements of Rule 1703. One of the permitted plans included all of the required elements; however, the timing and sequencing was not appropriate. Please note, the CEA shall not issue permits unless the SESC plans meet the requirements of Rule 1703 and the plan will effectively reduce accelerated soil erosion and sedimentation.*

LCDC has updated the open site plans that were reviewed as part of the audit and will follow Rule 1703. The updated checklist (Attachment 2) is used as part of plan review.

- *SESC Inspections: The CEA shall conduct and document inspections with appropriate information to assure proper administration of the SESC program. SESC inspections are not being performed at an appropriate frequency to assure minimization of soil erosion and off-site sedimentation. Please note, adequate inspection frequency is, generally, an average of one inspection per month per site.*

LCDC will follow the updated prioritization matrix to ensure that an adequate inspection frequency is met for each site. (Attachment 3)

- *Site Conditions: The WRD observed that site conditions were noncompliant with Part 91 of the NREPA, particularly residential permitted sites. SESC measures were not installed or were in need of maintenance. One site was also finalized prior to being stabilized.*

Follow up inspections were conducted and follow up work implemented as needed based on the audit results. Specific actions are described for each site in more detail. (Attachment 4)

SUMMARY INSPECTION REPORT – ITEM #1: *Applications*

LCDC has changed the current application form to include all the required information. Applications now contain the distance to the nearest body of water and the project start/ end date. Applications are required to be completed filled before they are accepted. Open permit site applications have been updated to include the missing information required by the State of Michigan. (Attachment 1)

SUMMARY INSPECTION REPORT – ITEM #4: *Inspections*

LCDC followed up with each site inspected by WRD. Inspections will follow the attached prioritization matrix schedule. Site specific characteristics may require more frequent inspections.

Residential Sites:

1. 9870 Willow Oak Drive
2. 9656 Willow Oak Drive
3. 6297 Summerbrooke Circle
4. 11933 Read Road
5. 5610 Radiant
6. 8270 Birchfield Drive
7. 6215 Summerbrooke Circle
8. 5607 Radiant Ave
9. 7136 Ira Lane
10. 164 Slider Avenue
11. 11077 Ridge View Trail
12. 4606 Ruby Lane

Commercial Sites:

13. Willow Woods (Winans Lake Road and Musch Road)
14. Green Oak Crossing (Spicer Road and M-36)
15. CVS Pharmacy Store #5741 (7420 East M-36, Hamburg)
16. Pine Ridge-Phase 3 (Oceola Twp)
17. Aldi Food Market #51 Remodel and Expansion (2260 Grand River Avenue, Howell)
18. Fowlerville Veterinary Clinic (6440 Grand River, Fowlerville)
19. Proposed Memory Care Legacy-Addition (1500 Byron Road)

The current inspection forms do not allow the agency to add observations or details unless the inspection has failed. The agency shall update the inspection form to include observations and additional information.

LCDC can add observations and details with passed or failed inspections within the inspection report. LCDC has chosen to only mark if an inspection has passed or failed based on the required SESC measures for that site. If an inspection has failed, LCDC marks the failed items and can add details or notes of the measure out of compliance. If an inspection found a site to have no compliance issues, the inspection is marked as approved. Based on the site plan, each inspector is aware of SESC measures that are to be inspected and will look at the required controls installed on site.

SUMMARY INSPECTION REPORT – ITEM #7: Permits

Currently, the LCDC Office issues a commercial SESC grading permit to the landowner for large residential developments. Once the landowner is ready to construct an individual home on a separate lot, the LCDC Office then issues a second residential SESC Permit to the landowner for that lot. The commercial SESC Permit remains in place for the rest of the residential development. This practice is not in compliance with Part 91 of the NREPA because a property shall not have two SESC Permits.

The LCDC first issues a permit to the parent parcel for large residential developments. This permit is for mass grading and infrastructure installation. After the grading and installation is completed, permits are issued to the child parcels that were split from the parent parcel. The child parcels are usually bought by a different landowner (builder, other developer). At no point does LCDC issue two SESC permits for the same property. LCDC also requires temporary stabilization of the parent parcel permit development (including common areas) prior to issuance of individual child parcel lots.

This practice is not in violation of Part 91 of NREPA because LCDC does not issue two SESC permits for the same property.

SUMMARY INSPECTION REPORT – ITEM #8: Plans

SESC Plans were updated for the following active residential projects: 9870 Willow Oak Drive, 9656 Willow Oak Drive, 6297 Summerbrooke Circle, 11933 Read Road, 5610 Radiant, 8270 Birchfield Drive, 6215 Summerbrooke Circle, 5607 Radiant Ave, and 7136 Ira Lane.

The residential projects of 164 Slider Avenue, 11077 Ridge View Trail, and 4606 Ruby Lane were closed and stabilized, therefore SESC Plans were not updated.

SESC Plans were updated for the following active commercial projects: Willow Woods (Winans Lake Road and Musch Road), Green Oak Crossing (Spicer Road and M-36), Pine Ridge-Phase 3 (Oceola Twp.), and Proposed Memory Care Legacy – Addition (1500 Byron Road).

The commercial projects of CVS Pharmacy Store #5741 (7420 East M-36, Hamburg), Aldi Food Market #51 Remodel and Expansion (2260 Grand River Avenue, Howell), Fowlerville Veterinary Clinic (6440 Grand River, Fowlerville) were closed and stabilized, therefore SESC Plans were not updated.

LCDC has updated all the open plans during the WRD audit. These updated plans or the attachments created have also been added to each site attachment. SESC has updated plans according to Rule 1703. Many plans reviewed as part of the audit mention that SESC measures installation instructions are missing, but this is not a requirement under Rule 1703 or Part 91. Installation instructions are available on the Livingston county website and front office if requested by permit holders. All updated plans or supplemental site plan documents are located in attachment 2.

SUMMARY INSPECTION REPORT – ITEM #9: *Site Conditions*

The following sites were inspected with WRD on 5/16/2019. These sites have all been addressed in different ways in order to get the site into compliance. Details of the follow up inspections, photos, inspection reports, violation notices, and inspection summary reports can be found in Attachment 4.



Livingston County Drain Commissioners Office

Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended,
and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843

Phone: 517-546-0040 Website: www.livgov.com/drain E-mail: drain@livgov.com

Acknowledgment of Conditions, Terms and Responsibilities of your RESIDENTIAL Soil Erosion and Sedimentation Control (SESC) Permit under Part 91 of Act 451, as Amended and the Livingston County SESC Ordinance

1. Livingston County has enacted a Soil Erosion and Sedimentation Control Ordinance that is more restrictive than Part 91 of Act 451, as Amended.
 2. **The Permittees are the Owner, Applicant, Contractor and Responsible Person listed on the application and permit.**
 3. The Responsible Person (as the legal representative of either the applicant or the owner as indicated on the application) is responsible for all site activity and the installation and maintenance of all SESC measures.
 4. If the property is sold and legal transfer of the permit has not transpired, via submittal of a completed LCDC SESC Permit Transfer application that passes all requirements, the original Permittees will remain responsible for maintaining all SESC measures and permit fees necessary for compliance with Part 91 and the re-stabilization of the site.
 5. All violations issued by the Livingston County Drain Commissioners Office shall be addressed immediately. A person shall not maintain or undertake an earth change governed by Part 91 and the Livingston County SESC Ordinance, except in accordance with Part 91 and the Livingston County SESC Ordinance and pursuant to the approved plans and permits. A person who violates this is guilty of a misdemeanor.
 6. The Permittees are responsible for site re-stabilization. A re-stabilized site is defined as one that has achieved its prescribed final grading and vegetative establishment or other covering resistant to erosion.
 7. The Inspector may require additional control measures if a site inspection indicates that original measures are not sufficient to prevent erosion.
 8. There will be no final graded slopes steeper than three (3) feet horizontal to one (1) foot vertical.
 9. The Permittees are responsible for assuring that the quality of any fill used is sufficient for the intended purpose. Livingston County and the Livingston County Drain Commissioner provide no inspection as to quality or compaction of fill materials associated with this permit.
 10. The Livingston County Drain Commissioner is not responsible for, nor does it review the drainage, for this project. The Permittees are responsible for assuring positive drainage away from any structures/improvements constructed under this permit, per the applicable local building code. **The Permittees are responsible for assuring that grading will not impair existing drainage or be a source of sedimentation to any adjacent land or water course. Surface water will be handled in a manner consistent with established drainage patterns.** Storm drainage will be handled by providing positive drainage onto a stable area at non-erosive velocities.
 11. **The Permittees are cautioned that grade changes resulting in increased runoff onto adjacent property, or preventing existing flow from continuing to come onto the property, is subject to civil damage litigation.**
 12. The permit does not convey property rights in either real estate or material, nor does it authorize any injury to private property or invasion of public or private rights. The permit does not prejudice or limit the right of a land owner to institute proceedings in any circuit court of this state against any person when necessary to protect their rights.
 13. All disturbed areas shall be re-stabilized immediately after the final grading or final earth change has been completed. Where it is not possible to permanently re-stabilize a disturbed area immediately after an earth change has been completed or where the activity ceases for more than 30 days, interim stabilization shall be implemented within five days. All interim measures shall be maintained until permanent re-stabilization is achieved.
 14. Issuance of the Part 91 Permit does not waive the necessity for obtaining other federal, state, and local permits.
 15. **THE PERMIT SHALL BE POSTED AT THE SITE VISIBLE FROM THE ROAD AT ALL TIMES DURING THE PROJECT**
- BEFORE THE PERMIT WILL BE ISSUED, THE FOLLOWING ITEMS SHALL BE DONE PRIOR TO THE REQUIRED INITIAL INSPECTION:
- All required SESC measures shall be properly installed. Location of all SESC measures are required to be reviewed and approved by LCDC SESC Staff.
 - **For new home or similar size construction**
 - **SILT FENCE:** Prior to the start of any construction or excavation, 36" silt fence (or approved alternative) is always required behind the curb or roadside ditch where the site fronts a paved road. Outside of subdivisions, this requirement may be waived if the front of the disturbance is a full 100' from the road or ditch, or where the site drops off from the road in such a manner to limit ingress/egress to the coarse aggregate tracking mat area. Silt fence (or approved alternative) at a minimum shall also be placed between the disturbance and any watercourse to prevent siltation and degradation of the watercourse. Silt fence MUST be trenched in 6 inches to pass initial inspection.
 - **TRACKING MAT:** The coarse aggregate tracking mat (1"x 3" crushed stone, minimum 12' wide by 50' long) is always required where the site fronts a paved road. **The coarse aggregate material for the tracking mat shall be delivered to the site prior to the initial inspection.** Following issuance of the permit and prior to the start of any construction or excavation, site driveway shall be cut in, a culvert placed, and the coarse aggregate material spread. Tracking of material onto a public highway is prohibited by law. **Access to the site shall be restricted to the tracking mat area(s).**
 - In accordance with Public Act No. 53 of 1974, the permit holder shall call **MISS DIG (811)** for staking and locating utilities at least seventy-two (72) hours in advance of the start of any work.

By signing this application, I hereby acknowledge that I have read the above statement of responsibility under Part 91, of Act 451, as amended, and the Livingston County SESC Ordinance, and understand my responsibilities for this project.



Livingston County Drain Commissioners Office

Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended,
and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843

Phone: 517-546-0040 Website: www.livgov.com/drain E-mail: drain@livgov.com

In accordance with Part 91 of Act 451 as Amended and its corresponding General Rules, and the Livingston County SESC Ordinance, the undersigned herewith makes application for a **RESIDENTIAL** Soil Erosion and Sedimentation Control (SESC) Permit for the following:

Please fill out **ALL** sections of this permit application or it will not be considered valid.
FEES are due upon application. All fees are non-refundable.

►►► **REQUIRED ITEMS TO BE SUBMITTED WITH THIS APPLICATION:**

- A **SITE PLAN** indicating all required items listed on the sample site plan.
- A **LAND USE PERMIT** from the local municipality (Township/City/Village) if they issue them.

1. SITE LOCATION:

Address of Site: _____ Parcel/Lot # _____

Subdivision Name: _____

Township: _____ Tax ID Number of Parcel: **47** _ _ - _ _ - _ _ - _ _

Start Date _____ End Date _____

2. OWNER (Required) Check all that apply: ☐ **APPLICANT** ☐ **CONTRACTOR**

Name: _____ Phone: _____

Company: _____

Cell Phone: _____ Email: _____

Address: _____ City: _____ State: _____ Zip: _____

3. CONTRACTOR (If different from OWNER.) Check all that apply: ☐ **APPLICANT** ☐ **DESIGNATED AGENT***

*(A designated agent must attach a designated agent authorization form to this permit. Authorization form must be completely filled out and include notarized or original signatures from the landowner and agent.)

Name: _____ Phone: _____

Company: _____

Cell Phone: _____ Email: _____

Address: _____ City: _____ State: _____ Zip: _____

4. RESPONSIBLE PERSON - Individual on site who is responsible for installing/maintaining SESC measures (*must be either the property owner or a representative of the contractor, not a company name or 3rd party individual*):

(Print Name) Connection (circle one): **Owner** **Contractor**

Phone: _____ Cell Phone: _____ Email: _____

5. WHO IS RESPONSIBLE FOR ALL SITE ACTIVITY, COMPLIANCE, AND VIOLATIONS?

☐ **Yes** ☐ **No** ☐ **N/A (If Contractor & Owner are the same)**

WHO IS RESPONSIBLE FOR FEES? ☐ **Yes** ☐ **No** ☐ **N/A (If Contractor & Owner are the same)**

OWNER'S INITIALS: _____ **CONTRACTOR'S INITIALS:** _____

**Application will be rejected if this section has not been completed.*

- 6. Type of Residential Construction (please check):** ☐ **House w/ Attached Garage** ☐ **House Only** ☐ **Addition**
☐ **Attached Garage Only** ☐ **Detached Garage** ☐ **Pond** ☐ **Pole Barn/Barn** ☐ **Pool (In-ground OR Above-ground)**

☐ Filling, Grading or Land Balancing Operation ☐ Other _____

7. A) Area in Square Feet of Proposed Improvement (footprint of the building) _____ Sq. ft.

B) Area in Square Feet of entire Disturbed Area (this includes [A] above) _____ Sq. ft.

8. When will the project take place? Begin: Month _____ Year _____ Completion: Month _____ Year _____

9. When will the project be re-stabilized with vegetation? Month _____ Year _____

10. Proposed final stabilization method: ☐ Sod ☐ Seed & Mulch ☐ Hydro-seed

(Please Note: Hydro-seed is acceptable ONLY on slopes of less than 1%)

or Other, please specify: _____

11. Soil Type Information: ☐ Clay ☐ Clay loam ☐ Fill ☐ Gravel ☐ Sand ☐ Sandy Clay

☐ Sandy loam ☐ Silt ☐ Silty clay ☐ Topsoil Other: _____

(Information from the Environmental Health Dept. Perk Test or USDA Soil Survey, if available. If not, list soil type[s] as you know them.)

12. A) Will any "fill" material be brought onto the site? ☐ No ☐ Yes – Cubic Yards _____

B) Will any earth be removed from the site? ☐ No ☐ Yes

If yes, where is the material being taken: _____

And does that site have an active SESC permit (unless being taken to a gravel pit or landscaping stockyard) that is required for fill placement? ☐ No ☐ Yes - permit number: # _____ (if known)

13. SESC MEASURES REQUEST FOR WAIVER OR SUBSTITUTE:

➤ 36" Silt fence

○ Reason for Waiver Request: _____

○ Substitute: _____ Reason: _____

➤ Coarse aggregate (min. 1"x3") tracking mat (min 12' wide x 50' long)

○ Reason for Waiver Request: _____

○ Substitute: _____ Reason: _____

14. SESC measures will need to be installed to protect: (Check all that apply.)

☐ Lake ☐ Stream ☐ River ☐ Pond ☐ Wetland/Swamp ☐ County Drain ☐ Paved Street

☐ Other (name) _____

15. Distance to nearest body of water (ft.): _____

16. Does this project require a Permit from the Michigan Department of Environmental Quality? ☐ No ☐ Yes

If Yes, please note the MDEQ Permit #: _____

ORIGINAL SIGNATURES FROM APPLICANT AND OWNER ARE REQUIRED

I have completed this permit application and I hereby certify that all of the information submitted as part of this application is accurate to the best of my knowledge. I have read, understand, and accept the terms, conditions, and requirements included with this application and of the LCDC SESC program. I hereby agree to conform to all applicable laws of the State of Michigan, and I understand my responsibilities under Part 91 of Act 451 and the Livingston County SESC Ordinance.

☐ As their designated agent, I hereby certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application.

Landowner's /Designated Agent/ Easement Owner's Name

Name (Print): _____

Signature: _____

Applicant

Name (Print): _____

☐ Same as Above

Signature: _____



Livingston County Drain Commissioners Office

Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended,
and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843

Phone: 517-546-0040 Website: www.livgov.com/drain E-mail: drain@livgov.com

Acknowledgment of Conditions, Terms and Responsibilities of your COMMERCIAL Soil Erosion and Sedimentation Control (SESC) Permit under Part 91 of Act 451, as Amended and the Livingston County SESC Ordinance

1. Livingston County has enacted a Soil Erosion and Sedimentation Control Ordinance that is more restrictive than Part 91 of Act 451, as Amended.
2. **The Permittees are the Owner, Applicant, Contractor and Responsible Person listed on the application and permit.**
3. The Responsible Person (as the legal representative of either the applicant or the owner as indicated on the application) is responsible for all site activity and the installation and maintenance of all SESC measures.
4. If the property is sold and legal transfer of the permit has not transpired, via submittal of a completed LCDC SESC Permit Transfer application that passes all requirements, the original Permittees will remain responsible for maintaining all SESC measures and permit fees necessary for compliance with Part 91 and the re-stabilization of the site.
5. All violations issued by the Livingston County Drain Commissioners Office shall be addressed immediately. A person shall not maintain or undertake an earth change governed by Part 91 and the Livingston County SESC Ordinance, except in accordance with Part 91 and the Livingston County SESC Ordinance and pursuant to the approved plans and permits. A person who violates this is guilty of a misdemeanor.
6. The Permittees are responsible for site re-stabilization. A site that is defined as being stabilized is one that has achieved its prescribed final grading and vegetative establishment or other covering resistant to erosion as per the approved site plan.
7. The Inspector may require additional control measures if a site inspection indicates that original measures are not sufficient to prevent erosion.
8. There will be no final graded slopes steeper than three (3) feet horizontal to one (1) foot vertical.
9. The Permittees are responsible for assuring that the quality of any fill used is sufficient for the intended purpose. Livingston County and the Livingston County Drain Commissioner provide no inspection as to quality or compaction of fill materials associated with this permit.
10. The Permittees are also responsible for maintaining the validity of the permit bond throughout the duration of construction and ultimate stabilization of a site. If the bond expires and the site lacks proper stabilization, they will be notified by certified mail. If a new bond is not submitted within thirty days the permit will expire. At that time, they shall be required to submit to the Livingston County Drain Commissioners Office for a new permit and all fees. Failure to comply will result in further enforcement measures being taken.
11. All disturbed areas shall be re-stabilized immediately after final grading or final earth change has been completed. Where it is not possible to permanently re-stabilize a disturbed area immediately after an earth change has been completed or where the activity ceases for more than 30 days, interim stabilization shall be implemented within five days. All interim measures shall be maintained until permanent re-stabilization is achieved.
12. **At the completion of the project the following items will be required unless waived by this office:**
 - a. **All fees must be paid in full. An invoice will be issued from the Livingston County Drain Commissioner's Office once the inspector acknowledges the project is ready to final.**
 - b. **The Completion Certification form completed by the engineer stating that the project, including the storm drainage system, has been completed in accordance with the approved plans and permit requirements, and that the site has been re-stabilized. As-built drawings may also be required.**
 - c. **Certification from the engineer that the storm drainage structures and lines are clean, or receipts showing that the storm drainage structures and lines have been cleaned after the construction was completed and the site was re-stabilized.**
13. **NPDES PERMIT:** All proposed earth disturbances of five (5) acres or larger are required to obtain a National Pollutant Discharge Elimination System (NPDES) Permit/Notice of Coverage from the MDEQ **prior** to the commencement of earth disturbance. The Michigan Department Environmental Quality (MDEQ) now does all NPDES Permits electronically at the following link: <https://miwaters.deq.state.mi.us/miwaters>

By signing this application, I hereby acknowledge that I have read the above statement of responsibility under Part 91, of Act 451, as amended, and the Livingston County SESC Ordinance, and understand my responsibilities for this project.



Livingston County Drain Commissioners Office

Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended,
and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843

Phone: 517-546-0040 Website: www.livgov.com/drain E-mail: drain@livgov.com

In accordance with Part 91 of Act 451, as amended, and its corresponding General Rules, and the Livingston County SESC Ordinance, the undersigned herewith makes application for a **COMMERCIAL** Soil Erosion and Sedimentation Control (SESC) permit for the following:

Please fill out all sections that apply. The application must be typed or filled in with pen. The application with **original signatures** should be submitted to the LCDC office. Incomplete applications will be delayed.

PROJECT INFORMATION (Please type or print clearly.)

Project Name: _____		Lot # _____	
Project Description: _____			
Township: _____		Start Date _____	End Date _____
Parcel Tax Identification Number (s): 47 _____ - _____ - _____ - _____			
Street Address (if applicable) _____			
Nearest Major Crossroads: _____			

OWNER (Required) Check all that apply: ☐ APPLICANT ☐ CONTRACTOR

Company: _____			
Contact Person's Name: _____			<input type="checkbox"/> Responsible Person
Address: _____	City: _____	State: _____	Zip: _____
E-Mail: _____	Phone: _____	Cell: _____	

CONTRACTOR (If different from OWNER) Check all that apply: ☐ APPLICANT ☐ DESIGNATED AGENT*

*A designated agent must attach a designated agent authorization form to this permit. Authorization form must be completely filled out and include notarized or original signatures from the landowner and agent.

Company: _____			
Contact Person's Name: _____			<input type="checkbox"/> Responsible Person
Address: _____	City: _____	State: _____	Zip: _____
E-Mail: _____	Phone: _____	Cell: _____	

RESPONSIBLE PARTY

➤ WHO IS RESPONSIBLE FOR ALL SITE ACTIVITY, COMPLIANCE, AND VIOLATIONS?

☐ Owner ☐ Contractor

➤ WHO IS RESPONSIBLE FOR FEES? ☐ Owner ☐ Contractor

OWNER'S INITIALS: _____ CONTRACTOR'S INITIALS: _____

**Application will be rejected if this section has not been completed.*

DESIGN ENGINEER

Company: _____			
Contact Person's Name: _____			
Address: _____	City: _____	State: _____	Zip: _____
E-Mail: _____	Phone: _____	Cell: _____	

STORM WATER OPERATOR (SWO) INFORMATION

Is the disturbed area over one (1) acre? ☐ NO ☐ YES (If yes, Storm Water Operator is required.)

NOTE: The SWO REPORTS ARE REQUIRED TO BE SUBMITTED TO THE LCDC INSPECTOR via e-mail (or other means) as they are generated until the project is stabilized.

Name: _____ Certification: # _____

Company Name: _____

Address: _____ City: _____ State: _____ Zip: _____

E-Mail: _____ Phone: _____ Cell: _____

SESC DETAILS

Total Area of Parcel: _____ AC Total Proposed Disturbed Area: _____ AC / SF

Soil Type Information: ☐ Clay ☐ Clay loam ☐ Fill ☐ Gravel ☐ Sand ☐ Sandy Clay

☐ Sandy loam ☐ Silt ☐ Silty clay ☐ Topsoil Other: _____

(Information from the Environmental Health Dept. Perk Test or USDA Soil Survey, if available. If not, list soil type[s] as you know them.)

HYDROLOGIC CHARACTERISTICS OF THE SITE

Type of "Ultimate" drainage outlet(s).

☐ Existing Drainage System ☐ New Drainage System ☐ Modification to Existing Drainage System

Distance to nearest Water, Drain or Basin (ft.): _____

Check all that apply and complete the required information:

☐ County Drain Name of the County Drain: _____

☐ Open Drain ☐ Enclosed Drain

☐ Lake / Pond Name: _____

☐ River/Stream Name: _____

☐ Wetland

☐ Detention Basin (with Outlet) ☐ Retention Basin (no Outlet)

Will the project include any work or disruption within a 100-year flood plain? ☐ YES ☐ NO

Will the project include any work within a LCDC Drain Easement? ☐ YES ☐ NO

Does the project include any work within the cross-section of a lake/stream? ☐ YES ☐ NO

Is an **MDEQ permit** required? ☐ YES - MDEQ Permit # _____ ☐ NO

ORIGINAL SIGNATURES FROM APPLICANT AND OWNER ARE REQUIRED

I have completed this permit application and I hereby certify that all of the information submitted as part of this application is accurate to the best of my knowledge. I have read, understand, and accept the terms, conditions, and requirements included with this application and of the LCDC SESC program. I hereby agree to conform to all applicable laws of the State of Michigan, and I understand my responsibilities under Part 91 of Act 451 and the Livingston County SESC Ordinance.

☐ As their designated agent, I hereby certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application.

Landowner/Designated Agent/ Easement Owner

Name (Print): _____

Signature: _____

Applicant

Name (Print): _____

☐ Same as Above

Signature: _____



Livingston County Drain Commissioners Office

Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended,
and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843

Phone: 517-546-0040 Website: www.livgov.com/drain E-mail: drain@livgov.com

SESC DESIGNATED AGENT AUTHORIZATION

All items must be completed for acceptance by this office.

1. SITE LOCATION:

Address of Site: _____ Parcel/Lot# _____

Subdivision Name: _____

Township: _____ Tax ID Number of Parcel: 47 - - - - -

2. OWNER

Name: _____ Phone: _____

Company: _____

Cell Phone: _____ Email: _____

Address: _____ City: _____ State: _____ Zip: _____

3. DESIGNATED AGENT

Name: _____ Phone: _____

Company: _____

Cell Phone: _____ Email: _____

Address: _____ City: _____ State: _____ Zip: _____

ORIGINAL SIGNATURES ARE REQUIRED

Landowner

Print: _____

Signature: _____

Designated Agent

Print: _____

Signature: _____

Designating an Agent to obtain an SESC permit on the landowners behalf does not remove the landowner from enforcement or fees by this office for non-compliance of Part 91 of Act 451 and the Livingston County SESC Ordinance.



Livingston County Drain Commissioners Office

Soil Erosion and Sedimentation Control (SESC) Division

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and the Livingston County SESC Ordinance

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Phone: 517-546-0040 Website: www.livgov.com/drain E-mail: drain@livgov.com

In accordance with Part 91 of Act 451 as Amended and its corresponding General Rules, and the Livingston County SESC Ordinance, the undersigned herewith makes application for a RESIDENTIAL Soil Erosion and Sedimentation Control (SESC) Permit for the following:

Please fill out ALL sections of this permit application or it will not be considered valid.
FEES are due upon application. All fees are non-refundable.

►►► REQUIRED ITEMS TO BE SUBMITTED WITH THIS APPLICATION:

- A SITE PLAN indicating all required items listed on the sample site plan.
- A LAND USE PERMIT from the local municipality (Township/City/Village) if they issue them.

1. SITE LOCATION:

Address of Site: 9870 Willow Oak Dr. Parcel/Lot # 22
Subdivision Name: Willow Woods
Township: Green Oak Tax ID Number of Parcel: 4716-19-301-022

2. OWNER (Required) Check all that apply: ☒ APPLICANT ☐ CONTRACTOR

Name: Steven Hohensee Phone: 586-697-3223
Company: Lombardo Homes of SE MI LLC.
Cell Phone: 586-277-3248 Email: shohensee@gmail.com
Address: 13001 23 Mile - Suite 200 City: Shelby twp State: MI Zip: 48843

3. CONTRACTOR (If different from OWNER.) ☒ contractor

Check all that apply: ☐ APPLICANT ☐ DESIGNATED AGENT (Must have with the application a written statement with original signature from landowner authorizing them to secure a permit in the landowners name.)

Name: Don Stearns Phone: _____
Company: JA Stearns Corp.
Cell Phone: 248-521-0064 Email: jastearnsCorp@msn.com
Address: 8968 Wiggins City: Howell State: MI Zip: 48843

4. RESPONSIBLE PERSON - Individual on site who is responsible for installing/maintaining SESC measures (must be either the property owner or a representative of the contractor, not a company name or 3rd party individual):

Jon Hayward Connection (circle one): Owner Contractor
(Print Name)
Phone: 586-651-5210 Cell Phone: _____ Email: jhayward@lombardohomes.com

5. IS THE CONTRACTOR RESPONSIBLE FOR ALL SITE ACTIVITY, COMPLIANCE, AND VIOLATIONS?

☐ Yes ☒ No ☐ N/A (If Contractor & Owner are the same)

IS THE CONTRACTOR RESPONSIBLE FOR FEES? ☐ Yes ☒ No ☐ N/A (If Contractor & Owner are the same)

OWNER'S INITIALS: SEA CONTRACTOR'S INITIALS: DJS

*Application will be rejected if this section has not been completed.

6. Type of Residential Construction (please check): ☒ House w/ Attached Garage ☐ House Only ☐ Addition

- ☐ Attached Garage Only ☐ Detached Garage ☐ Pond ☐ Pole Barn/Barn ☐ Pool (In-ground OR Above-ground)
☐ Filling, Grading or Land Balancing Operation ☐ Other _____

RESIDENTIAL

Major / Minor Permit # PSER 20 19 - 00170
Date: 4-11-19 / Start Date: 4/25/19

7. A) Area in Square Feet of Proposed Improvement (footprint of the building) 2,659 Sq. ft.

B) Area in Square Feet of entire Disturbed Area (this includes [A] above) 10,382 Sq. ft.

8. When will the project be re-stabilized with vegetation?: Month October Year 2019

9. Proposed final stabilization method: ☒ Sod ☐ Seed & Mulch ☐ Hydro-seed

(Please Note: Hydro-seed is acceptable ONLY on slopes of less than 1%)

or Other, please specify: _____

10. Soil Type Information: ☐ Clay ☐ Clay loam ☐ Fill ☐ Gravel ☐ Sand ☐ Sandy Clay

☐ Sandy loam ☐ Silt ☒ Silty clay ☐ Topsoil Other: _____

(Information from the Environmental Health Dept. Perk Test or USDA Soil Survey, if available. If not, list soil type[s] as you know them.)

11. A) Will any "fill" material be brought onto the site? ☒ No ☐ Yes – Cubic Yards _____

B) Will any earth be removed from the site? ☒ No ☐ Yes

If yes, where is the material being taken: _____

And does that site have an active SESC permit (unless being taken to a gravel pit or landscaping stockyard) that is required for fill placement? ☐ No ☐ Yes - permit number: # _____ (if known)

12. SESC MEASURES REQUEST FOR WAIVER OR SUBSTITUTE:

➤ 36" Silt fence

○ Reason for Waiver Request: _____

○ Substitute: _____ Reason: _____

➤ Coarse aggregate (min. 1"x3") tracking mat (min 12' wide x 50' long)

○ Reason for Waiver Request: _____

○ Substitute: _____ Reason: _____

13. SESC measures will need to be installed to protect: (Check all that apply.)

☐ Lake ☐ Stream ☐ River ☐ Pond ☒ Wetland/Swamp ☐ County Drain ☒ Paved Street

☐ Other _____

14. Name of water body (or other) to be protected: Wetlands

Distance to Nearest Body of Water: 45' to wetland

15. Does this project require a Permit from the Michigan Department of Environmental Quality? ☒ No ☐ Yes

If Yes, please note the MDEQ Permit #: _____

ORIGINAL SIGNATURES FROM APPLICANT AND OWNER ARE REQUIRED (EVEN IF THEY ARE THE SAME)

I have completed this permit application and I hereby certify that all of the information submitted as part of this application is accurate to the best of my knowledge. I have read, understand, and accept the terms, conditions, and requirements included with this application and of the LCDC SESC program. I hereby agree to conform to all applicable laws of the State of Michigan, and I understand my responsibilities under Part 91 of Act 451 and the Livingston County SESC Ordinance.

☒ As their designated agent, I hereby certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application.

Landowner/Designated Agent/Easement Owner

Name (Print): Sebastian Lombardo

Signature: Sebastian Lombardo

Applicant

Name (Print): Steven Hohensee

Signature: Steven Hohensee



Livingston County Drain Commissioners Office

Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended,
and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843
Phone: 517-546-0040 Website: www.livgov.com/drain E-mail: drain@livgov.com

In accordance with Part 91 of Act 451 as Amended and its corresponding General Rules, and the Livingston County SESC Ordinance, the undersigned herewith makes application for a **RESIDENTIAL** Soil Erosion and Sedimentation Control (SESC) Permit for the following:

Please fill out **ALL** sections of this permit application or it will not be considered valid.
FEES are due upon application. All fees are non-refundable.

►►► REQUIRED ITEMS TO BE SUBMITTED WITH THIS APPLICATION:

- A SITE PLAN indicating all required items listed on the sample site plan.
- A LAND USE PERMIT from the local municipality (Township/City/Village) if they issue them.

1. SITE LOCATION:

Address of Site: 9656 Willow Oak Dr. Parcel/Lot # 43

Subdivision Name: Willow Woods

Township: Green-Oak Tax ID Number of Parcel: 4716-19-301-043

2. ATTACH SITE LOCATION/VICINITY MAP TO BACK OF APPLICATION

+ Owner SEM Landholdings
Sebastian Lombardo

3. ROLE (Check all that apply): ☐ OWNER ☒ APPLICANT ☐ CONTRACTOR

Name: Steven Hohensee Phone: 586-679-3223

Company: Lombardo Homes of SE MI LLC.

Cell Phone: _____ Email: shohensee@lombardohomes.com

Address: 13001 23 mile-suite 200 City: Shelby Twp. State: MI Zip: 48315

4. ROLE (Check all that apply): ☐ OWNER ☐ APPLICANT ☒ CONTRACTOR

Name: Don Stearns Phone: _____

Company: JA Stearns Corp.

Cell Phone: 248-521-0064 Email: jastearnsCorp@msn.com

Address: 8968 Wiggins City: Howell State: MI Zip: 48843

5. IS THE CONTRACTOR THE DESIGNATED AGENT OF THE LAND OWNER AND THEREFORE RESPONSIBLE FOR ALL

SITE ACTIVITY, COMPLIANCE, AND VIOLATIONS? ☒ Yes ☐ No ☐ N/A (If Contractor & Owner are the same)

IS THE CONTRACTOR RESPONSIBLE FOR FEES? ☐ Yes ☒ No ☐ N/A (If Contractor & Owner are the same)

OWNER'S INITIALS: St

CONTRACTOR'S INITIALS: DET

6. RESPONSIBLE PERSON - Individual on site who is responsible for installing/maintaining SESC measures (must be either the property owner or a representative of the contractor, not a company name or 3rd party individual):

Jon Hayward Connection (circle one): Owner Contractor
(Print Name)

Phone: 586-651-5210 Cell Phone: _____ Email: jhayward@lombardohomes.com

7. Type of Residential Construction (please check): ☒ House w/ Attached Garage ☐ House Only ☐ Addition
- ☐ Attached Garage Only ☐ Detached Garage ☐ Pond ☐ Pole Barn/Barn ☐ Pool (In-ground OR Above-ground)
- ☐ Filling, Grading or Land Balancing Operation ☐ Other _____

Major / Minor Permit # PSER 2018-00674

Date:

Project Start:
9/18/2018

7/27/18

8. A) Area in Square Feet of Proposed Improvement (footprint of the building) 1,400 Sq. ft.
B) Area in Square Feet of entire Disturbed Area (this includes [A] above) 10,285 Sq. ft.
9. When will the project be re-stabilized with vegetation?: Month May Year 2019

10. Proposed final stabilization method: ☒ Sod ☐ Seed & Mulch ☐ Hydro-seed
(Please Note: Hydro-seed is acceptable ONLY on slopes of less than 1%)

or Other, please specify: _____

11. Soil Type Information: ☐ Clay ☒ Clay loam ☐ Fill ☐ Gravel ☐ Sand ☐ Sandy Clay
☐ Sandy loam ☐ Silt ☐ Silty clay ☐ Topsoil Other: _____

(Information from the Environmental Health Dept. Perk Test or USDA Soil Survey, if available. If not, list soil type[s] as you know them.)

12. A) Will any "fill" material be brought onto the site? ☒ No ☐ Yes - Cubic Yards _____

- B) Will any earth be removed from the site? ☒ No ☐ Yes

If yes, where is the material being taken: _____

And does that site have an active SESC permit (unless being taken to a gravel pit or landscaping stockyard) that is required for fill placement? ☐ No ☐ Yes - permit number: # _____ (if known)

13. SESC MEASURES:

- Silt fence (36") or approved substitute is required unless waived.
○ Waived by: _____ (LCDC Staff Initials) Reason: _____
○ Approved Substitute: _____ Approved by: _____ (LCDC Staff Initials)
Reason: _____
- Coarse aggregate (min. 1"x3") tracking mat (min 12' wide x 50' long) is required unless waived.
○ Waived by: _____ (LCDC Staff Initials) Reason: _____
- Other SESC measures required: _____

14. SESC measures will need to be installed to protect: (Check all that apply.)

- ☐ Lake ☐ Stream ☐ River ☒ Pond ☒ Wetland/Swamp ☐ County Drain ☒ Paved Street
☐ Other _____

15. Name of water body (or other) to be protected: Detention Pond
Distance to Nearest Water Body: 380'

16. Does this project require a Permit from the Michigan Department of Environmental Quality?

- ☒ No ☐ Yes If Yes, please note the MDEQ Permit #: _____

ORIGINAL SIGNATURES FROM APPLICANT AND OWNER
(EVEN IF THEY ARE THE SAME) ARE REQUIRED

I have completed this permit application and I hereby certify that all of the information submitted as part of this application is accurate to the best of my knowledge. I have read, understand, and accept the terms, conditions, and requirements included with this application and of the LCDC SESC program. I hereby certify that the proposed work is authorized by the owner of record and that I am the owner of record or have been authorized by the owner to make this application as their designated agent. I/we hereby agree to conform to all applicable laws of the State of Michigan, and we understand our responsibilities under Part 91 of Act 451 and the Livingston County SESC Ordinance.

Landowner's / Easement Owner's Name (Print): Sebastian Lombardo

Landowner's / Easement Owner's Signature: Sebastian Lombardo

AND

Applicant's Name (Print): Steven Hohensee

Applicant's Signature: Steven Hohensee



Livingston County Drain Commissioners Office

Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended,
and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843

Phone: 517-546-0040 Website: www.livgov.com/drain E-mail: drain@livgov.com

In accordance with Part 91 of Act 451 as Amended and its corresponding General Rules, and the Livingston County SESC Ordinance, the undersigned herewith makes application for a RESIDENTIAL Soil Erosion and Sedimentation Control (SESC) Permit for the following:

Please fill out ALL sections of this permit application or it will not be considered valid.
FEES are due upon application. All fees are non-refundable.

#250

►►► REQUIRED ITEMS TO BE SUBMITTED WITH THIS APPLICATION:

- A SITE PLAN indicating all required items listed on the sample site plan.
- A LAND USE PERMIT from the local municipality (Township/City/Village) if they issue them.

1. SITE LOCATION:

Address of Site: 6217 SUMMER BROOK CIRCLE Parcel/Lot # 1

Subdivision Name: SUMMER BROOK

Township: HANDY Tax ID Number of Parcel: 47 05 - 01 - 401 - 001

2. ATTACH SITE LOCATION/VICINITY MAP TO BACK OF APPLICATION

3. ROLE (Check all that apply): ☐ OWNER ☒ APPLICANT ☒ CONTRACTOR

Name: MIKE TOOMAN Phone: 517-641-6000

Company: CVE HOMES

Cell Phone: _____ Email: MIKE@CVEHOMES.COM

Address: 13937 WEBSTER City: BATH State: MI Zip: 48808

4. ROLE (Check all that apply): ☒ OWNER ☐ APPLICANT ☐ CONTRACTOR

Name: MATTHEW SVOBODA Phone: 517-294-7774

Company: _____

Cell Phone: _____ Email: SVOBODA7474@GMAIL.COM

Address: 5794 CLASSE LN City: FRANKLIN State: MI Zip: 48836

5. IS THE CONTRACTOR THE DESIGNATED AGENT OF THE LAND OWNER AND THEREFORE RESPONSIBLE FOR ALL SITE ACTIVITY, COMPLIANCE, AND VIOLATIONS? ☒ Yes ☐ No ☐ N/A (If Contractor & Owner are the same)

IS THE CONTRACTOR RESPONSIBLE FOR FEES? ☒ Yes ☐ No ☐ N/A (If Contractor & Owner are the same)

OWNER'S INITIALS: _____

CONTRACTOR'S INITIALS: [Signature]

6. RESPONSIBLE PERSON - Individual on site who is responsible for installing/maintaining SESC measures (must be either the property owner or a representative of the contractor, not a company name or 3rd party individual):

NICK HANCOCK

(Print Name)

Connection (circle one): Owner ☐ Contractor ☒

Phone: 517-641-6000 Cell Phone: 517 449-4102 Email: NICK@CVEHOMES.COM

7. Type of Residential Construction (please check): ☒ House w/ Attached Garage ☐ House Only ☐ Addition

- ☐ Attached Garage Only ☐ Detached Garage ☐ Pond ☐ Pole Barn/Barn ☐ Pool (In-ground OR Above-ground)
- ☐ Filling, Grading or Land Balancing Operation ☐ Other _____

Major / Minor Permit # SOI 20 18 - 00363

Date: 5/17/18

START DATE
6/29/18

RECEIVED

LIVINGSTON COUNTY
DRAIN COMMISSIONER

8. A) Area in Square Feet of Proposed Improvement (footprint of the building) 1497 Sq. ft.

B) Area in Square Feet of entire Disturbed Area (this includes [A] above) 1892 Sq. ft.

9. A) Will any earth be removed from the site? ☒ No ☐ Yes

If yes, where is the material being taken: _____

And does that site have an active SESC permit (unless being taken to a gravel pit or landscaping stockyard) that is required for fill placement? ☒ No ☐ Yes - permit number: # _____ (if known)

B) Will any "fill" material be brought onto the site? ☒ No ☐ Yes - Cubic Yards _____

10. When will the project be re-stabilized with vegetation?: Month 12 Year '18

11. Proposed final stabilization method: ☐ Sod ☒ Seed & Mulch ☐ Hydro-seed

(Please Note: Hydro-seed is acceptable ONLY on slopes of less than 1%)

or Other, please specify: _____

12. SESC MEASURES:

➤ Silt fence (36") or approved substitute is required unless waived.

○ Waived by: _____ (LCDC Staff Initials) Reason: _____

○ Approved Substitute: _____ Approved by: _____ (LCDC Staff Initials)
Reason: _____

➤ Coarse aggregate (min. 1"x3") tracking mat (min 12' wide x 50' long) is required unless waived.

○ Waived by: _____ (LCDC Staff Initials) Reason: _____

➤ Other SESC measures required: _____

13. SESC measures will need to be installed to protect: (Check all that apply.)

☐ Lake ☐ Stream ☐ River ☐ Pond ☒ Wetland/Swamp ☐ County Drain ☒ Paved Street

☐ Other _____

14. Name of water body (or other) to be protected: _____

DISTANCE TO NEAREST WATER BODY: 179' to wetland

15. Does this project require a Permit from the Michigan Department of Environmental Quality?

☒ No ☐ Yes If Yes, please note the MDEQ Permit #: _____

16. Soil Type Information: ☐ Clay ☐ Clay loam ☐ Fill ☐ Gravel ☐ Sand ☐ Sandy Clay

☒ Sandy loam ☐ Silt ☐ Silty clay ☐ Topsoil Other: _____

(Information from the Environmental Health Dept. Perk Test or USDA Soil Survey, if available. If not, list soil type[s] as you know them.)

**ORIGINAL SIGNATURES FROM APPLICANT AND OWNER
(EVEN IF THEY ARE THE SAME) ARE REQUIRED**

I have completed this permit application and I hereby certify that all of the information submitted as part of this application is accurate to the best of my knowledge. I have read, understand, and accept the terms, conditions, and requirements included with this application and of the LCDC SESC program. I hereby certify that the proposed work is authorized by the owner of record and that I am the owner of record or have been authorized by the owner to make this application as their designated agent. I/we hereby agree to conform to all applicable laws of the State of Michigan, and we understand our responsibilities under Part 91 of Act 451 and the Livingston County SESC Ordinance.

Landowner's / Easement Owner's Name (Print): Michael T. Gorman

Landowner's / Easement Owner's Signature: _____

AND

Applicant's Name (Print): Michael T. Gorman

Applicant's Signature: _____



Livingston County Drain Commissioners Office

Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended,
and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843
Phone: 517-546-0040 Website: www.livgov.com/drain E-mail: drain@livgov.com

In accordance with Part 91 of Act 451 as Amended and its corresponding General Rules, and the Livingston County SESC Ordinance, the undersigned herewith makes application for a **RESIDENTIAL** Soil Erosion and Sedimentation Control (SESC) Permit for the following:

Please fill out **ALL** sections of this permit application or it will not be considered valid.
FEES are due upon application. All fees are non-refundable.

►►► REQUIRED ITEMS TO BE SUBMITTED WITH THIS APPLICATION:

- A SITE PLAN indicating all required items listed on the sample site plan.
- A LAND USE PERMIT from the local municipality (Township/City/Village) if they issue them.

Reviewed by:

Todd C

1. SITE LOCATION:

Address of Site: 11933 Read Rd., Fenton, MI 48430 Parcel/Lot # 96

Subdivision Name: T3N, R6E, Lake Tyrone Estates No 3

Township: Hartland Tax ID Number of Parcel: 47 08-03-201-054

zoning SR

2. ATTACH SITE LOCATION/VICINITY MAP TO BACK OF APPLICATION

3. ROLE (Check all that apply): ☒ OWNER ☒ APPLICANT ☒ CONTRACTOR

Name: Victoria L. Wilczewski Phone: cell (734) 732-1148

Company: _____

Cell Phone: 734-732-1148 Email: vickie.wilczewski@gmail.com

Address: 11933 Read Rd City: Fenton State: MI Zip: 48430

4. ROLE (Check all that apply): ☐ OWNER ☐ APPLICANT ☐ CONTRACTOR

Name: _____ Phone: _____

Company: _____

Cell Phone: _____ Email: _____

Address: _____ City: _____ State: _____ Zip: _____

5. IS THE CONTRACTOR THE DESIGNATED AGENT OF THE LAND OWNER AND THEREFORE RESPONSIBLE FOR ALL SITE ACTIVITY, COMPLIANCE, AND VIOLATIONS? ☐ Yes ☐ No ☒ N/A (If Contractor & Owner are the same)

IS THE CONTRACTOR RESPONSIBLE FOR FEES? ☐ Yes ☐ No ☒ N/A (If Contractor & Owner are the same)

OWNER'S INITIALS: _____ CONTRACTOR'S INITIALS: _____

6. RESPONSIBLE PERSON - Individual on site who is responsible for installing/maintaining SESC measures (must be either the property owner or a representative of the contractor, not a company name or 3rd party individual):

Victoria L. Wilczewski
(Print Name)

Connection (circle one): Owner Contractor

Phone: _____ Cell Phone: 734-732-1148 Email: vickie.wilczewski@gmail.com

7. Type of Residential Construction (please check): ☐ House w/ Attached Garage ☐ House Only ☐ Addition
☐ Attached Garage Only ☐ Detached Garage ☐ Pond ☐ Pole Barn/Barn ☐ Pool (In-ground OR Above-ground)
☐ Filling, Grading or Land Balancing Operation

New build to allow for need for 1,200 sq ft vinyl-sided house on cement slab.

8. A) Area in Square Feet of Proposed Improvement (footprint of the building) 1,200 Sq. ft.

B) Area in Square Feet of entire Disturbed Area (this includes [A] above) 1,400 Sq. ft.

9. A) Will any earth be removed from the site? ☒ No ☐ Yes

If yes, where is the material being taken: _____
And does that site have an active SESC permit (unless being taken to a gravel pit or landscaping stockyard) that is required for fill placement? ☐ No ☐ Yes - permit number: # _____ (if known)

B) Will any "fill" material be brought onto the site? ☒ No ☐ Yes - Cubic Yards _____

10. When will the project be re-stabilized with vegetation?: Month Nov Year 2018

11. Proposed final stabilization method: ☐ Sod ☐ Seed & Mulch ☒ Hydro-seed

(Please Note: Hydro-seed is acceptable ONLY on slopes of less than 1%)

or Other, please specify: _____

12. SESC MEASURES:

➤ Silt fence (36") or approved substitute is required unless waived.

- Waived by: _____ (LCDC Staff Initials) Reason: _____
- Approved Substitute: _____ Approved by: _____ (LCDC Staff Initials) Reason: _____

➤ Coarse aggregate (min. 1"x3") tracking mat (min 12' wide x 50' long) is required unless waived.

- Waived by: _____ (LCDC Staff Initials) Reason: _____

➤ Other SESC measures required: _____

13. SESC measures will need to be installed to protect: (Check all that apply.)

☒ Lake ☐ Stream ☐ River ☐ Pond ☐ Wetland/Swamp ☐ County Drain ☐ Paved Street

DISTANCE TO NEAREST WATER BODY: 283 ft.

☐ Other _____

14. Name of water body (or other) to be protected: Lake Tyrone

15. Does this project require a Permit from the Michigan Department of Environmental Quality?

☒ No ☐ Yes If Yes, please note the MDEQ Permit #: _____

16. Soil Type Information: ☐ Clay ☐ Clay loam ☐ Fill ☐ Gravel ☐ Sand ☒ Sandy Clay

☐ Sandy loam ☐ Silt ☐ Silty clay ☐ Topsoil Other: _____

(Information from the Environmental Health Dept. Perk Test or USDA Soil Survey, if available. If not, list soil type[s] as you know them.)

ORIGINAL SIGNATURES FROM APPLICANT AND OWNER (EVEN IF THEY ARE THE SAME) ARE REQUIRED

I have completed this permit application and I hereby certify that all of the information submitted as part of this application is accurate to the best of my knowledge. I have read, understand, and accept the terms, conditions, and requirements included with this application and of the LCDC SESC program. I hereby certify that the proposed work is authorized by the owner of record and that I am the owner of record or have been authorized by the owner to make this application as their designated agent. I/we hereby agree to conform to all applicable laws of the State of Michigan, and we understand our responsibilities under Part 91 of Act 451 and the Livingston County SESC Ordinance.

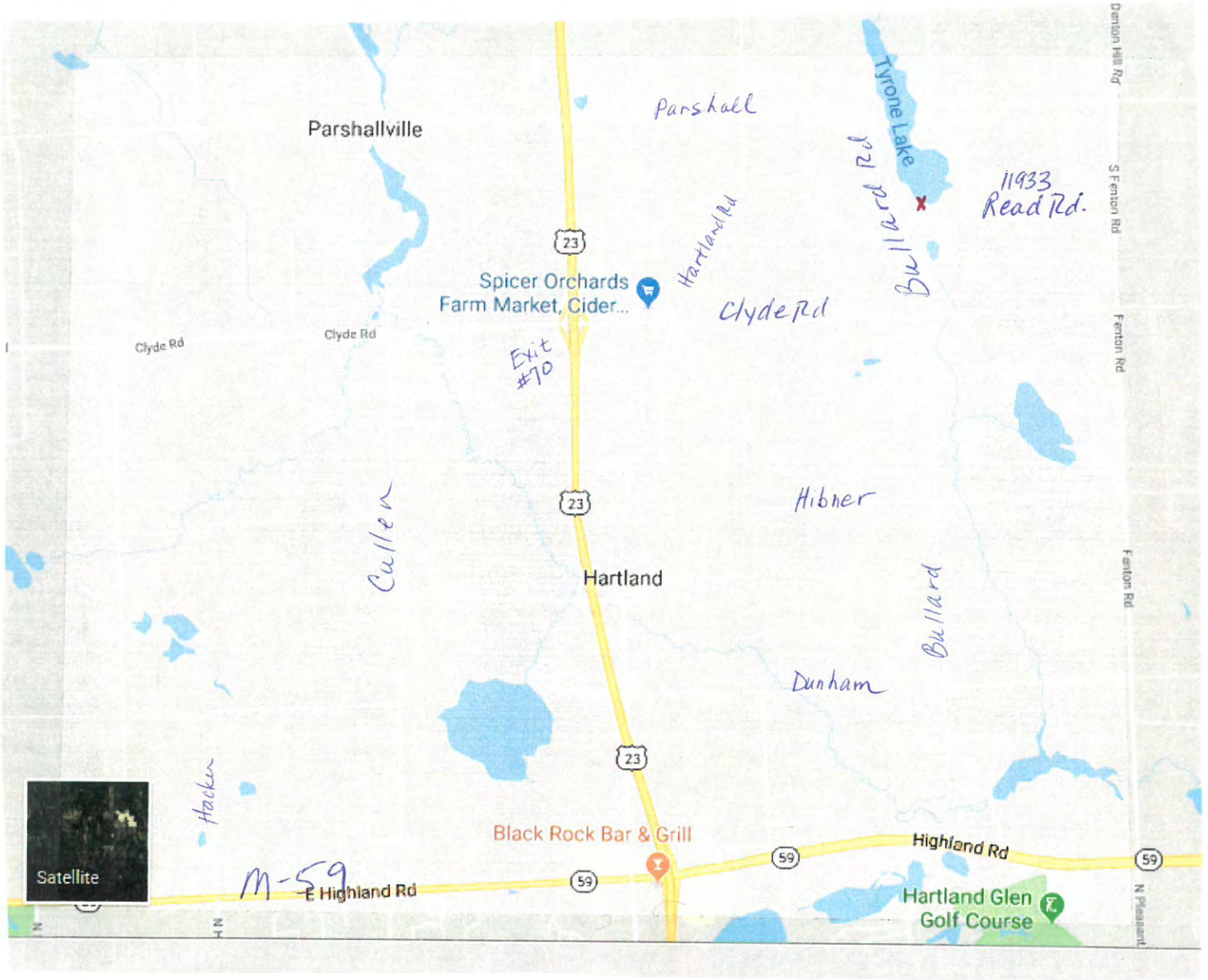
Landowner's / Easement Owner's Name (Print): Victoria L. Wilczewski

Landowner's / Easement Owner's Signature: Victoria L. Wilczewski

AND

Applicant's Name (Print): Victoria L. Wilczewski

Applicant's Signature: Victoria L. Wilczewski





Livingston County Drain Commissioners Office

Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended,
and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843

Phone: 517-546-0040 Website: www.livgov.com/drain E-mail: drain@livgov.com

In accordance with Part 91 of Act 451 as Amended and its corresponding General Rules, and the Livingston County SESC Ordinance, the undersigned herewith makes application for a **RESIDENTIAL** Soil Erosion and Sedimentation Control (SESC) Permit for the following:

Please fill out **ALL** sections of this permit application or it will not be considered valid.
FEES are due upon application. All fees are non-refundable.

►►► REQUIRED ITEMS TO BE SUBMITTED WITH THIS APPLICATION:

- A SITE PLAN indicating all required items listed on the sample site plan.
- A LAND USE PERMIT from the local municipality (Township/City/Village) if they issue them.

1. SITE LOCATION:

Address of Site: 5610 Radiant Ave Parcel/Lot # 45

Subdivision Name: Diamond Glen

Township: Oceola Tax ID Number of Parcel: 47 07 - 04 - 201 - 020

2. ATTACH SITE LOCATION/VICINITY MAP TO BACK OF APPLICATION

3. ROLE (Check all that apply): ☒ OWNER ☐ APPLICANT ☐ CONTRACTOR

Name: Ann Wright Phone: 616-878-1748 x452

Company: Westview Capital, LLC

Cell Phone: _____ Email: awright@allenedwin.com

Address: 2186 E Centre St City: Portage State: MI Zip: 49002

4. ROLE (Check all that apply): ☐ OWNER ☒ APPLICANT ☒ CONTRACTOR

Name: Ann Wright Phone: 616-878-1748 x452

Company: Allen Edwin Homes

Cell Phone: _____ Email: awright@allenedwin.com

Address: 795 Clyde Ct SW City: Byron Center State: MI Zip: 49315

5. IS THE CONTRACTOR THE DESIGNATED AGENT OF THE LAND OWNER AND THEREFORE RESPONSIBLE FOR ALL

SITE ACTIVITY, COMPLIANCE, AND VIOLATIONS? ☒ Yes ☐ No ☐ N/A (If Contractor & Owner are the same)

IS THE CONTRACTOR RESPONSIBLE FOR FEES? ☒ Yes ☐ No ☐ N/A (If Contractor & Owner are the same)

OWNER'S INITIALS: _____ CONTRACTOR'S INITIALS: _____

6. RESPONSIBLE PERSON - Individual on site who is responsible for installing/maintaining SESC measures (must be either the property owner or a representative of the contractor, not a company name or 3rd party individual):

Ray Nouhan II Connection (circle one): Owner Contractor
(Print Name)

Phone: _____ Cell Phone: 248-640-2867 Email: rnouhan@allenedwin.com

7. Type of Residential Construction (please check): ☒ House w/ Attached Garage ☐ House Only ☐ Addition

☐ Attached Garage Only ☐ Detached Garage ☐ Pond ☐ Pole Barn/Barn ☐ Pool (In-ground OR Above-ground)

☐ Filling, Grading or Land Balancing Operation ☐ Other _____

PROJECT START DATE 8/30/18
Major / Minor Permit # PSER 2018-00749
Date: 8/17/18

8. A) Area in Square Feet of Proposed Improvement (footprint of the building) 1670 Sq. ft.

B) Area in Square Feet of entire Disturbed Area (this includes [A] above) 51395 Sq. ft.

9. When will the project be re-stabilized with vegetation?: Month July Year 2019

10. Proposed final stabilization method: ☒ Sod ☐ Seed & Mulch ☐ Hydro-seed

(Please Note: Hydro-seed is acceptable ONLY on slopes of less than 1%)

or Other, please specify: _____

11. Soil Type Information: ☐ Clay ☐ Clay loam ☐ Fill ☐ Gravel ☐ Sand ☐ Sandy Clay

☐ Sandy loam ☐ Silt ☐ Silty clay ☐ Topsoil Other: Hillsdale-Miami Loam

(Information from the Environmental Health Dept. Perk Test or USDA Soil Survey, if available. If not, list soil type[s] as you know them.)

12. A) Will any "fill" material be brought onto the site? ☐ No ☒ Yes - Cubic Yards 320

B) Will any earth be removed from the site? ☒ No ☐ Yes

If yes, where is the material being taken: _____

And does that site have an active SESC permit (unless being taken to a gravel pit or landscaping stockyard) that is required for fill placement? ☐ No ☐ Yes - permit number: # _____ (if known)

13. SESC MEASURES:

➤ Silt fence (36") or approved substitute is required unless waived.

- Waived by: _____ (LCDC Staff Initials) Reason: _____
- Approved Substitute: _____ Approved by: _____ (LCDC Staff Initials) Reason: _____

➤ Coarse aggregate (min. 1"x3") tracking mat (min 12' wide x 50' long) is required unless waived.

- Waived by: _____ (LCDC Staff Initials) Reason: _____

➤ Other SESC measures required: _____

14. SESC measures will need to be installed to protect: (Check all that apply.)

☐ Lake ☐ Stream ☐ River ☒ Pond ☐ Wetland/Swamp ☐ County Drain ☐ Paved Street

Distance TO Nearest Surface water: 438 ft.

☐ Other _____

15. Name of water body (or other) to be protected: _____

16. Does this project require a Permit from the Michigan Department of Environmental Quality?

☒ No ☐ Yes If Yes, please note the MDEQ Permit #: _____

ORIGINAL SIGNATURES FROM APPLICANT AND OWNER
(EVEN IF THEY ARE THE SAME) ARE REQUIRED

I have completed this permit application and I hereby certify that all of the information submitted as part of this application is accurate to the best of my knowledge. I have read, understand, and accept the terms, conditions, and requirements included with this application and of the LCDC SESC program. I hereby certify that the proposed work is authorized by the owner of record and that I am the owner of record or have been authorized by the owner to make this application as their designated agent. I/we hereby agree to conform to all applicable laws of the State of Michigan, and we understand our responsibilities under Part 91 of Act 451 and the Livingston County SESC Ordinance.

Landowner's / Easement Owner's Name (Print): Ann Wright

Landowner's / Easement Owner's Signature: Ann Wright

AND

Applicant's Name (Print): Ann Wright

Applicant's Signature: Ann Wright



Livingston County Drain Commissioners Office Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended,
and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843
Phone: 517-546-0040 Website: www.livgov.com/drain E-mail: drain@livgov.com

In accordance with Part 91 of Act 451 as Amended and its corresponding General Rules, and the Livingston County SESC Ordinance, the undersigned herewith makes application for a **RESIDENTIAL** Soil Erosion and Sedimentation Control (SESC) Permit for the following:

Please fill out **ALL** sections of this permit application or it will not be considered valid.
FEES are due upon application. All fees are non-refundable.

►►► **REQUIRED ITEMS TO BE SUBMITTED WITH THIS APPLICATION:**

- A **SITE PLAN** indicating all required items listed on the sample site plan.
- A **LAND USE PERMIT** from the local municipality (Township/City/Village) if they issue them.

1. **SITE LOCATION:**

Address of Site: 8270 Birchfield Dr. Parcel/Lot # 25

Subdivision Name: Willow Woods

Township: Green-Oak Tax ID Number of Parcel: 4716-19-301-025

2. **ATTACH SITE LOCATION/VICINITY MAP TO BACK OF APPLICATION**

3. **ROLE (Check all that apply):** ☐ OWNER ☒ **APPLICANT** ☐ CONTRACTOR

Name: Steven Hohensee Phone: 586-679-3223

Company: Lombardo Homes of SE MI LLC.

Cell Phone: _____ Email: shohensee@lombardohomes.com

Address: 13001 23 mile - suite 200 City: Shelby Twp. State: MI Zip: 48315

4. **ROLE (Check all that apply):** ☐ OWNER ☐ APPLICANT ☒ **CONTRACTOR**

Name: Don Stearns Phone: _____

Company: JA Stearns Corp.

Cell Phone: 248-521-0064 Email: jastearnsCorp@msn.com

Address: 8968 Wiggins City: Howell State: MI Zip: 48843

5. **IS THE CONTRACTOR THE DESIGNATED AGENT OF THE LAND OWNER AND THEREFORE RESPONSIBLE FOR ALL SITE ACTIVITY, COMPLIANCE, AND VIOLATIONS?** ☐ Yes ☐ No ☐ N/A (If Contractor & Owner are the same)
IS THE CONTRACTOR RESPONSIBLE FOR FEES? ☐ Yes ☐ No ☐ N/A (If Contractor & Owner are the same)

OWNER'S INITIALS: St

CONTRACTOR'S INITIALS: DET

6. **RESPONSIBLE PERSON - Individual** on site who is responsible for installing/maintaining SESC measures (must be either the property owner or a representative of the contractor, not a company name or 3rd party individual):

Jon Hayward
(Print Name)

Connection (circle one) Owner Contractor

Phone: 586-651-5210

Cell Phone: _____

Email: jhayward@lombardohomes.com

7. **Type of Residential Construction (please check):**

- ☒ **House w/ Attached Garage** ☐ House Only ☐ Addition
☐ Attached Garage Only ☐ Detached Garage ☐ Pond ☐ Pole Barn/Barn ☐ Pool (In-ground OR Above-ground)
☐ Filling, Grading or Land Balancing Operation ☐ Other _____

8. A) Area in Square Feet of Proposed Improvement (footprint of the building) 1,453 Sq. ft.
B) Area in Square Feet of entire Disturbed Area (this includes [A] above) 13,372 Sq. ft.
9. When will the project be re-stabilized with vegetation?: Month May Year 2019

10. Proposed final stabilization method: ☒ Sod ☐ Seed & Mulch ☐ Hydro-seed

(Please Note: Hydro-seed is acceptable ONLY on slopes of less than 1%)

or Other, please specify: _____

11. Soil Type Information: ☐ Clay ☐ Clay loam ☐ Fill ☐ Gravel ☐ Sand ☐ Sandy Clay
☐ Sandy loam ☐ Silt ☒ Silty clay ☐ Topsoil Other: _____

(Information from the Environmental Health Dept. Perk Test or USDA Soil Survey, if available. If not, list soil type[s] as you know them.)

12. A) Will any "fill" material be brought onto the site? ☒ No ☐ Yes - Cubic Yards _____
B) Will any earth be removed from the site? ☒ No ☐ Yes

If yes, where is the material being taken: _____

And does that site have an active SESC permit (unless being taken to a gravel pit or landscaping stockyard) that is required for fill placement? ☐ No ☐ Yes - permit number: # _____ (if known)

13. SESC MEASURES:

- Silt fence (36") or approved substitute is required unless waived.
○ Waived by: _____ (LCDC Staff Initials) Reason: _____
○ Approved Substitute: _____ Approved by: _____ (LCDC Staff Initials)
Reason: _____
➤ Coarse aggregate (min. 1"x3") tracking mat (min 12' wide x 50' long) is required unless waived.
○ Waived by: _____ (LCDC Staff Initials) Reason: _____
➤ Other SESC measures required: _____

14. SESC measures will need to be installed to protect: (Check all that apply.)

- ☐ Lake ☐ Stream ☐ River ☐ Pond ☒ Wetland/Swamp ☐ County Drain ☒ Paved Street
DISTANCE TO NEAREST SURFACE WATER: 250 ft.
☐ Other _____

15. Name of water body (or other) to be protected: Wetlands

16. Does this project require a Permit from the Michigan Department of Environmental Quality?

- ☒ No ☐ Yes If Yes, please note the MDEQ Permit #: _____

ORIGINAL SIGNATURES FROM APPLICANT AND OWNER
(EVEN IF THEY ARE THE SAME) ARE REQUIRED

I have completed this permit application and I hereby certify that all of the information submitted as part of this application is accurate to the best of my knowledge. I have read, understand, and accept the terms, conditions, and requirements included with this application and of the LCDC SESC program. I hereby certify that the proposed work is authorized by the owner of record and that I am the owner of record or have been authorized by the owner to make this application as their designated agent. I/we hereby agree to conform to all applicable laws of the State of Michigan, and we understand our responsibilities under Part 91 of Act 451 and the Livingston County SESC Ordinance.

Landowner's / Easement Owner's Name (Print): Sebastian Lombardo

Landowner's / Easement Owner's Signature: Sebastian Lombardo

AND

Applicant's Name (Print): Steven Hohensee

Applicant's Signature: Steven Hohensee



Livingston County Drain Commissioners Office

Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended,
and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843

Phone: 517-546-0040 Website: www.livgov.com/drain E-mail: drain@livgov.com

In accordance with Part 91 of Act 451 as Amended and its corresponding General Rules, and the Livingston County SESC Ordinance, the undersigned herewith makes application for a RESIDENTIAL Soil Erosion and Sedimentation Control (SESC) Permit for the following:

Please fill out ALL sections of this permit application or it will not be considered valid.
FEES are due upon application. All fees are non-refundable.

►►► REQUIRED ITEMS TO BE SUBMITTED WITH THIS APPLICATION:

- A SITE PLAN indicating all required items listed on the sample site plan.
- A LAND USE PERMIT from the local municipality (Township/City/Village) if they issue them.

1. SITE LOCATION:

Address of Site: 6215 Summer Brook Ave. Parcel/Lot # 8

Subdivision Name: SUMMER BROOK

Township: Hamdy Tax ID Number of Parcel: 47 05 - 01 - 401 - 008

2. ATTACH SITE LOCATION/VICINITY MAP TO BACK OF APPLICATION

3. ROLE (Check all that apply): ☐ OWNER ☒ APPLICANT ☒ CONTRACTOR

Name: CVE HOMES Phone: 517-641-6600

Company: CVE HOMES

Cell Phone: _____ Email: MIKE @CVEHOMES.COM

Address: 13437 WEBSTER City: BATH State: MI Zip: 48808

4. ROLE (Check all that apply): ☒ OWNER ☐ APPLICANT ☐ CONTRACTOR

Name: MATTHEW SVOBODA Phone: 517-244-7774

Company: Summer brooke Dev.

Cell Phone: _____ Email: _____

Address: 5714 OLSE LK RD City: FARMINGVILLE State: MI Zip: 48835

5. IS THE CONTRACTOR THE DESIGNATED AGENT OF THE LAND OWNER AND THEREFORE RESPONSIBLE FOR ALL

SITE ACTIVITY, COMPLIANCE, AND VIOLATIONS? ☒ Yes ☐ No ☐ N/A (If Contractor & Owner are the same)

IS THE CONTRACTOR RESPONSIBLE FOR FEES? ☒ Yes ☐ No ☐ N/A (If Contractor & Owner are the same)

OWNER'S INITIALS: _____ CONTRACTOR'S INITIALS: (Signature)

6. RESPONSIBLE PERSON - Individual on site who is responsible for installing/maintaining SESC measures (must be either the property owner or a representative of the contractor, not a company name or 3rd party individual):

NICK HANCOCK Connection (circle one): Owner Contractor
(Print Name)

Phone: 517-641-6000 Cell Phone: 517-444-4102 Email: _____

7. Type of Residential Construction (please check): ☒ House w/ Attached Garage ☐ House Only ☐ Addition

☐ Attached Garage Only ☐ Detached Garage ☐ Pond ☐ Pole Barn/Barn ☐ Pool (In-ground OR Above-ground)

☐ Filling, Grading or Land Balancing Operation ☐ Other _____

8. A) Area in Square Feet of Proposed Improvement (footprint of the building) 1500 Sq. ft.

B) Area in Square Feet of entire Disturbed Area (this includes [A] above) 1800 Sq. ft.

9. A) Will any earth be removed from the site? ☒ No ☐ Yes

If yes, where is the material being taken: _____

And does that site have an active SESC permit (unless being taken to a gravel pit or landscaping stockyard) that is required for fill placement? ☐ No ☐ Yes - permit number: # _____ (if known)

B) Will any "fill" material be brought onto the site? ☒ No ☐ Yes - Cubic Yards _____

10. When will the project be re-stabilized with vegetation?: Month April Year 2019

11. Proposed final stabilization method: ☐ Sod ☒ Seed & Mulch ☐ Hydro-seed

(Please Note: Hydro-seed is acceptable ONLY on slopes of less than 1%)

or Other, please specify: _____

12. SESC MEASURES:

➤ Silt fence (36") or approved substitute is required unless waived.

○ Waived by: _____ (LCDC Staff Initials) Reason: _____

○ Approved Substitute: _____ Approved by: _____ (LCDC Staff Initials)
Reason: _____

➤ Coarse aggregate (min. 1"x3") tracking mat (min 12' wide x 50' long) is required unless waived.

○ Waived by: _____ (LCDC Staff Initials) Reason: _____

➤ Other SESC measures required: _____

13. SESC measures will need to be installed to protect: (Check all that apply.)

☐ Lake ☐ Stream ☐ River ☐ Pond ☐ Wetland/Swamp ☐ County Drain ☒ Paved Street

DISTANCE TO NEAREST SURFACE WATER: 290 ft.

☐ Other _____

14. Name of water body (or other) to be protected: _____

15. Does this project require a Permit from the Michigan Department of Environmental Quality?

☒ No ☐ Yes If Yes, please note the MDEQ Permit #: _____

16. Soil Type Information: ☐ Clay ☐ Clay loam ☐ Fill ☐ Gravel ☐ Sand ☐ Sandy Clay

☒ Sandy loam ☐ Silt ☐ Silty clay ☐ Topsoil Other: _____

(Information from the Environmental Health Dept. Perk Test or USDA Soil Survey, if available. If not, list soil type[s] as you know them.)

ORIGINAL SIGNATURES FROM APPLICANT AND OWNER
(EVEN IF THEY ARE THE SAME) ARE REQUIRED

I have completed this permit application and I hereby certify that all of the information submitted as part of this application is accurate to the best of my knowledge. I have read, understand, and accept the terms, conditions, and requirements included with this application and of the LCDC SESC program. I hereby certify that the proposed work is authorized by the owner of record and that I am the owner of record or have been authorized by the owner to make this application as their designated agent. I/we hereby agree to conform to all applicable laws of the State of Michigan, and we understand our responsibilities under Part 91 of Act 451 and the Livingston County SESC Ordinance.

Landowner's / Easement Owner's Name (Print): Michael J. [Signature]

Landowner's / Easement Owner's Signature: [Signature]

AND

Applicant's Name (Print): Michael J. [Signature]

Applicant's Signature: [Signature]



Livingston County Drain Commissioners Office

Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended,
and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843
Phone: 517-546-0040 Website: www.livgov.com/drain E-mail: drain@livgov.com

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FEES are due upon application. All fees are non-refundable.

►►► REQUIRED ITEMS TO BE SUBMITTED WITH THIS APPLICATION:

- A SITE PLAN indicating all required items listed on the sample site plan.
- A LAND USE PERMIT from the local municipality (Township/City/Village) if they issue them.

1. SITE LOCATION:
Address of Site: 5607 Radiant Ave Parcel/Lot # 20

Subdivision Name: ~~Oak Grove Meadows~~ Diamond Glen

Township: ~~Handy~~ Oceda Tax ID Number of Parcel: 47 07 - 04 - 201 - 020

2. ATTACH SITE LOCATION/VICINITY MAP TO BACK OF APPLICATION

3. ROLE (Check all that apply): ☒ OWNER ☐ APPLICANT ☐ CONTRACTOR

Name: Ann Wright Phone: 616-878-1748 x452

Company: Westview Capital, LLC

Cell Phone: Email: awright@allenedwin.com

Address: 2186 E Centre St City: Portage State: MI Zip: 49002

4. ROLE (Check all that apply): ☐ OWNER ☒ APPLICANT ☒ CONTRACTOR

Name: Ann Wright Phone: 616-878-1748 x452

Company: Allen Edwin Homes

Cell Phone: Email: awright@allenedwin.com

Address: 795 Clyde Ct SW City: Byron Center State: MI Zip: 49315

5. IS THE CONTRACTOR THE DESIGNATED AGENT OF THE LAND OWNER AND THEREFORE RESPONSIBLE FOR ALL SITE ACTIVITY, COMPLIANCE, AND VIOLATIONS? ☒ Yes ☐ No ☐ N/A (If Contractor & Owner are the same)
IS THE CONTRACTOR RESPONSIBLE FOR FEES? ☒ Yes ☐ No ☐ N/A (If Contractor & Owner are the same)

OWNER'S INITIALS: CONTRACTOR'S INITIALS:

6. RESPONSIBLE PERSON - Individual on site who is responsible for installing/maintaining SESC measures (must be either the property owner or a representative of the contractor, not a company name or 3rd party individual):

Ray Nouhan II Connection (circle one): Owner Contractor
(Print Name)

Phone: Cell Phone: 248-640-2867 Email: rnouhan@allenedwin.com

7. Type of Residential Construction (please check): ☒ House w/ Attached Garage ☐ House Only ☐ Addition
☐ Attached Garage Only ☐ Detached Garage ☐ Pond ☐ Pole Barn/Barn ☐ Pool (In-ground OR Above-ground)
☐ Filling, Grading or Land Balancing Operation ☐ Other

Date: 8-9-18
PROJECT START DATE: 9/6/2018
Major Minor Permit # PSER 20 18-00718

RD

8. A) Area in Square Feet of Proposed Improvement (footprint of the building) 1670 Sq. ft.

B) Area in Square Feet of entire Disturbed Area (this includes [A] above) 49495 Sq. ft.

9. When will the project be re-stabilized with vegetation?: Month June Year 2019

10. Proposed final stabilization method: ☒ Sod ☐ Seed & Mulch ☐ Hydro-seed

(Please Note: Hydro-seed is acceptable ONLY on slopes of less than 1%)

or Other, please specify: _____

11. Soil Type Information: ☐ Clay ☐ Clay loam ☐ Fill ☐ Gravel ☐ Sand ☐ Sandy Clay

☐ Sandy loam ☐ Silt ☐ Silty clay ☐ Topsoil Other: Hillsdale-Miami Loam

(Information from the Environmental Health Dept. Perk Test or USDA Soil Survey, if available. If not, list soil type[s] as you know them.)

12. A) Will any "fill" material be brought onto the site? ☐ No ☒ Yes - Cubic Yards 320

B) Will any earth be removed from the site? ☒ No ☐ Yes

If yes, where is the material being taken: _____

And does that site have an active SESC permit (unless being taken to a gravel pit or landscaping stockyard) that is required for fill placement? ☐ No ☐ Yes - permit number: # _____ (if known)

13. SESC MEASURES:

> Silt fence (36") or approved substitute is required unless waived.

o Waived by: _____ (LCDC Staff Initials) Reason: _____

o Approved Substitute: _____ Approved by: _____ (LCDC Staff Initials)
Reason: _____

> Coarse aggregate (min. 1"x3") tracking mat (min 12' wide x 50' long) is required unless waived.

o Waived by: _____ (LCDC Staff Initials) Reason: _____

> Other SESC measures required: _____

14. SESC measures will need to be installed to protect: (Check all that apply.)

☐ Lake ☐ Stream ☐ River ☒ Pond ☐ Wetland/Swamp ☐ County Drain ☐ Paved Street

☐ Other _____

DISTANCE TO NEAREST WATER BODY: 483 ft.

15. Name of water body (or other) to be protected: _____

16. Does this project require a Permit from the Michigan Department of Environmental Quality?

☒ No

☐ Yes

If Yes, please note the MDEQ Permit #: _____

ORIGINAL SIGNATURES FROM APPLICANT AND OWNER
(EVEN IF THEY ARE THE SAME) ARE REQUIRED

I have completed this permit application and I hereby certify that all of the information submitted as part of this application is accurate to the best of my knowledge. I have read, understand, and accept the terms, conditions, and requirements included with this application and of the LCDC SESC program. I hereby certify that the proposed work is authorized by the owner of record and that I am the owner of record or have been authorized by the owner to make this application as their designated agent. I/we hereby agree to conform to all applicable laws of the State of Michigan, and we understand our responsibilities under Part 91 of Act 451 and the Livingston County SESC Ordinance.

Landowner's / Easement Owner's Name (Print): Ann Wright

Landowner's / Easement Owner's Signature: Ann Wright

AND

Applicant's Name (Print): Ann Wright

Applicant's Signature: Ann Wright



Livingston County Drain Commissioners Office

Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended,
and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843

Phone: 517-546-0040 Website: www.livgov.com/drain E-mail: drain@livgov.com

In accordance with Part 91 of Act 451 as Amended and its corresponding General Rules, and the Livingston County SESC Ordinance, the undersigned herewith makes application for a RESIDENTIAL Soil Erosion and Sedimentation Control (SESC) Permit for the following:

Please fill out ALL sections of this permit application or it will not be considered valid.
FEES are due upon application. All fees are non-refundable.

►►► REQUIRED ITEMS TO BE SUBMITTED WITH THIS APPLICATION:

- A SITE PLAN indicating all required items listed on the sample site plan.
- A LAND USE PERMIT from the local municipality (Township/City/Village) if they issue them.

1. SITE LOCATION:

Address of Site: 7136 IRA Lane Parcel/Lot # 3

Subdivision Name: IRA Acres

Township: Cohocta Tax ID Number of Parcel: 47 02-26-301-003

2. ATTACH SITE LOCATION/VICINITY MAP TO BACK OF APPLICATION

3. ROLE (Check all that apply): ☒ OWNER ☐ APPLICANT ☐ CONTRACTOR

Name: Carl Vagnetti Phone: 810-499-7370

Company: _____

Cell Phone: 810-499-7370 Email: _____

Address: 6970 Grand River City: Brighton State: MI Zip: 48114

4. ROLE (Check all that apply): ☐ OWNER ☒ APPLICANT ☒ CONTRACTOR

Name: Kevin Lee Phone: 517-304-6138

Company: Lees Home Improvements

Cell Phone: 517-304-6138 Email: KL6138@yahoo.com

Address: 5145 Washakie Trail City: Brighton State: MI Zip: 48116

5. IS THE CONTRACTOR THE DESIGNATED AGENT OF THE LAND OWNER AND THEREFORE RESPONSIBLE FOR ALL SITE ACTIVITY, COMPLIANCE, AND VIOLATIONS? ☒ Yes ☐ No ☐ N/A (If Contractor & Owner are the same) IS THE CONTRACTOR RESPONSIBLE FOR FEES? ☒ Yes ☐ No ☐ N/A (If Contractor & Owner are the same)

OWNER'S INITIALS: [Signature] CONTRACTOR'S INITIALS: K.L.

6. RESPONSIBLE PERSON - Individual on site who is responsible for installing/maintaining SESC measures (must be either the property owner or a representative of the contractor, not a company name or 3rd party individual):

Kevin Lee Connection (circle one): Owner Contractor
(Print Name)

Phone: _____ Cell Phone: 517 304 6138 Email: KL6138@yahoo.com

7. Type of Residential Construction (please check): ☒ House w/ Attached Garage ☐ House Only ☐ Addition
☐ Attached Garage Only ☐ Detached Garage ☐ Pond ☐ Pole Barn/Barn ☐ Pool (In-ground OR Above-ground)
☐ Filling, Grading or Land Balancing Operation ☐ Other _____

8. A) Area in Square Feet of Proposed Improvement (footprint of the building) 1356 Sq. ft.

B) Area in Square Feet of entire Disturbed Area (this includes [A] above) 3276 Sq. ft.

9. When will the project be re-stabilized with vegetation?: Month Aug Year 2019

10. Proposed final stabilization method: ☐ Sod ☒ Seed & Mulch ☐ Hydro-seed

(Please Note: Hydro-seed is acceptable ONLY on slopes of less than 1%)

or Other, please specify: _____

11. Soil Type Information: ☐ Clay ☐ Clay loam ☐ Fill ☐ Gravel ☐ Sand ☐ Sandy Clay

☒ Sandy loam ☐ Silt ☐ Silty clay ☐ Topsoil Other: _____

(Information from the Environmental Health Dept. Perk Test or USDA Soil Survey, if available. If not, list soil type[s] as you know them.)

12. A) Will any "fill" material be brought onto the site? ☒ No ☐ Yes - Cubic Yards _____

B) Will any earth be removed from the site? ☒ No ☐ Yes

If yes, where is the material being taken: _____

And does that site have an active SESC permit (unless being taken to a gravel pit or landscaping stockyard) that is required for fill placement? ☐ No ☐ Yes - permit number: # _____ (if known)

13. SESC MEASURES:

➤ Silt fence (36") or approved substitute is required and must be trenched in 6" unless waived.

○ Waived by: _____ (LCDC Staff Initials) Reason: _____

○ Approved Substitute: _____ Approved by: _____ (LCDC Staff Initials)
Reason: _____

➤ Coarse aggregate (min. 1"x3") tracking mat (min 12' wide x 50' long) is required unless waived.

○ Waived by: _____ (LCDC Staff Initials) Reason: _____

➤ Other SESC measures required: _____

14. SESC measures will need to be installed to protect: (Check all that apply.)

☐ Lake ☐ Stream ☐ River ☐ Pond ☐ Wetland/Swamp ☒ County Drain ☐ Paved Street

☐ Other _____

Distance to nearest surface water: 120 ft.

15. Name of water body (or other) to be protected: _____

16. Does this project require a Permit from the Michigan Department of Environmental Quality?

☐ No ☐ Yes If Yes, please note the MDEQ Permit #: _____

ORIGINAL SIGNATURES FROM APPLICANT AND OWNER (EVEN IF THEY ARE THE SAME) ARE REQUIRED

I have completed this permit application and I hereby certify that all of the information submitted as part of this application is accurate to the best of my knowledge. I have read, understand, and accept the terms, conditions, and requirements included with this application and of the LCDC SESC program. I hereby certify that the proposed work is authorized by the owner of record and that I am the owner of record or have been authorized by the owner to make this application as their designated agent. I/we hereby agree to conform to all applicable laws of the State of Michigan, and we understand our responsibilities under Part 91 of Act 451 and the Livingston County SESC Ordinance.

Landowner's / Easement Owner's Name (Print): Carl Vagnetti

Landowner's / Easement Owner's Signature: Carl Vagnetti

AND

Applicant's Name (Print): Kevin Lee

Applicant's Signature: Kevin Lee



Livingston County Drain Commissioners Office

Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended,
and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843
Phone: 517-546-0040 Website: www.livgov.com/drain E-mail: drain@livgov.com

In accordance with Part 91 of Act 451 as Amended and its corresponding General Rules, and the Livingston County SESC Ordinance, the undersigned herewith makes application for a **RESIDENTIAL** Soil Erosion and Sedimentation Control (SESC) Permit for the following:

Please fill out **ALL** sections of this permit application or it will not be considered valid.
FEES are due upon application. All fees are non-refundable.

►►► **REQUIRED ITEMS TO BE SUBMITTED WITH THIS APPLICATION:**

- > A **SITE PLAN** indicating all required items listed on the sample site plan.
- > A **LAND USE PERMIT** from the local municipality (Township/City/Village) if they issue them.

1. **SITE LOCATION:**

Address of Site: 4606 Ruby Lane Parcel/Lot # 12

Subdivision Name: Diamond Glen

Township: Oceola Tax ID Number of Parcel: 47 07 - 04 - 201 - 012

2. **ATTACH SITE LOCATION/VICINITY MAP TO BACK OF APPLICATION**

3. **ROLE (Check all that apply):** ☒ **OWNER** ☐ **APPLICANT** ☐ **CONTRACTOR**

Name: Ann Wright Phone: 616-878-1748 x452

Company: Westview Capital, LLC

Cell Phone: Email: awright@allenedwin.com

Address: 2186 E Centre St City: Portage State: MI Zip: 49002

4. **ROLE (Check all that apply):** ☐ **OWNER** ☒ **APPLICANT** ☒ **CONTRACTOR**

Name: Ann Wright Phone: 616-878-1748 x452

Company: Allen Edwin Homes

Cell Phone: Email: awright@allenedwin.com

Address: 795 Clyde Ct SW City: Byron Center State: MI Zip: 49315

5. **IS THE CONTRACTOR THE DESIGNATED AGENT OF THE LAND OWNER AND THEREFORE RESPONSIBLE FOR ALL**

SITE ACTIVITY, COMPLIANCE, AND VIOLATIONS? ☒ **Yes** ☐ **No** ☐ **N/A (If Contractor & Owner are the same)**

IS THE CONTRACTOR RESPONSIBLE FOR FEES? ☒ **Yes** ☐ **No** ☐ **N/A (If Contractor & Owner are the same)**

OWNER'S INITIALS: **CONTRACTOR'S INITIALS:**

6. **RESPONSIBLE PERSON - Individual** on site who is responsible for installing/maintaining SESC measures (must be either the property owner or a representative of the contractor, not a company name or 3rd party individual):

Ray Nouhan II Connection (circle one): **Owner** Contractor
(Print Name)

Phone: Cell Phone: 248-640-2867 Email: rnouhan@allenedwin.com

7. **Type of Residential Construction (please check):** ☒ **House w/ Attached Garage** ☐ **House Only** ☐ **Addition**

☐ **Attached Garage Only** ☐ **Detached Garage** ☐ **Pond** ☐ **Pole Barn/Barn** ☐ **Pool (In-ground OR Above-ground)**

☐ **Filling, Grading or Land Balancing Operation** ☐ **Other**

8. A) Area in Square Feet of Proposed Improvement (footprint of the building) 1511 Sq. ft.
B) Area in Square Feet of entire Disturbed Area (this includes [A] above) 19,756 Sq. ft.
9. When will the project be re-stabilized with vegetation?: Month February Year 2020

10. Proposed final stabilization method: ☒ Sod ☐ Seed & Mulch ☐ Hydro-seed
(Please Note: Hydro-seed is acceptable ONLY on slopes of less than 1%)
or Other, please specify: _____

11. Soil Type Information: ☐ Clay ☐ Clay loam ☐ Fill ☐ Gravel ☐ Sand ☐ Sandy Clay
☐ Sandy loam ☐ Silt ☐ Silty clay ☐ Topsoil Other: Hillsdale-Miami Loam
(Information from the Environmental Health Dept. Perk Test or USDA Soil Survey, if available. If not, list soil type[s] as you know them.)

12. A) Will any "fill" material be brought onto the site? ☐ No ☒ Yes – Cubic Yards 320
B) Will any earth be removed from the site? ☒ No ☐ Yes
If yes, where is the material being taken: _____
And does that site have an active SESC permit (unless being taken to a gravel pit or landscaping stockyard) that is required for fill placement? ☐ No ☐ Yes - permit number: # _____ (if known)

13. SESC MEASURES:

- Silt fence (36") or approved substitute is required unless waived.
○ Waived by: _____ (LCDC Staff Initials) Reason: _____
○ Approved Substitute: _____ Approved by: _____ (LCDC Staff Initials)
Reason: _____
➤ Coarse aggregate (min. 1"x3") tracking mat (min 12' wide x 50' long) is required unless waived.
○ Waived by: _____ (LCDC Staff Initials) Reason: _____
➤ Other SESC measures required: _____

14. SESC measures will need to be installed to protect: (Check all that apply.)

- ☐ Lake ☐ Stream ☐ River ☒ Pond ☐ Wetland/Swamp ☐ County Drain ☐ Paved Street
Distance to Nearest Surface Water: 494 ft.
☐ Other _____

15. Name of water body (or other) to be protected: _____

16. Does this project require a Permit from the Michigan Department of Environmental Quality?

- ☒ No ☐ Yes If Yes, please note the MDEQ Permit #: _____

ORIGINAL SIGNATURES FROM APPLICANT AND OWNER
(EVEN IF THEY ARE THE SAME) ARE REQUIRED

I have completed this permit application and I hereby certify that all of the information submitted as part of this application is accurate to the best of my knowledge. I have read, understand, and accept the terms, conditions, and requirements included with this application and of the LCDC SESC program. I hereby certify that the proposed work is authorized by the owner of record and that I am the owner of record or have been authorized by the owner to make this application as their designated agent. I/we hereby agree to conform to all applicable laws of the State of Michigan, and we understand our responsibilities under Part 91 of Act 451 and the Livingston County SESC Ordinance.

Landowner's / Easement Owner's Name (Print): Ann Wright

Landowner's / Easement Owner's Signature: Ann Wright

AND

Applicant's Name (Print): Ann Wright

Applicant's Signature: Ann Wright



Livingston County Drain Commissioners Office Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended,
and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843
Phone: 517-546-0040 Website: www.livgov.com/drain E-mail: drain@livgov.com

In accordance with Part 91 of Act 451, as amended, and its corresponding General Rules, and the Livingston County SESC Ordinance, the undersigned herewith makes application for a COMMERCIAL Soil Erosion and Sedimentation Control (SESC) permit for the following:

Please fill out all sections that apply. The application must be typed or filled in with pen. The application with original signatures should be submitted to the LCDC office. Incomplete applications will be delayed.

PROJECT INFORMATION (Please type or print clearly.)

Start Date: Feb 2017 End Date: ~~Mar 2017~~ Oct 2017

Development Name: Willows Woods Lot # _____
Township: GREEN OAK TOWNSHIP Section (s): 19, T 1 N-R 6 E,
Parcel Tax Identification Number (s): 47 1 6 - 1 9 - 3 0 0 - 0 0 4
4716 30700016 - Revised
Street Address (if applicable) _____
Nearest Major Crossroads: WINANS LAKE RD + MUSCH RD

ROLE (Check all that apply): ☒ OWNER ☒ APPLICANT ☐ CONTRACTOR

Company: DIVERSE REAL ESTATE LLC / SE Michigan Land Holdings LLC
Contact Person's Name: MR. CHRIS COUSINO ☐ Responsible Person
Address: 12955 23 MILE ROAD City: SHELBY TWP State: MI Zip: 48315
E-Mail: ccousino@deliproperties.com Phone: 586-254-4867 Cell: _____

ROLE (Check all that apply): ☐ OWNER ☐ APPLICANT ☒ CONTRACTOR

Company: PAMARZ ENTERPRISES INC
Contact Person's Name: MR. BRIAN OLESKY ☐ Responsible Person
Address: 58021 GRATIOT AVE City: NEW HAVEN State: MI Zip: 48048
E-Mail: Brian@pamarcenterprises.com Phone: 586-749-9713 Cell: 586-623-9075

DESIGNATED AGENT

> IS THE CONTRACTOR THE DESIGNATED AGENT OF THE LAND OWNER AND THEREFORE RESPONSIBLE FOR ALL SITE ACTIVITY, COMPLIANCE, AND VIOLATIONS? ☒ Yes ☐ No ☐ N/A (If Contractor & Owner are the same)
> IS THE CONTRACTOR RESPONSIBLE FOR FEES? ☐ Yes ☒ No ☐ N/A (If Contractor & Owner are the same)
OWNER'S INITIALS: _____ CONTRACTOR'S INITIALS: BO

DESIGN ENGINEER

Company: BOSS ENGINEERING
Contact Person's Name: SCOTT TOUSIGNANT
Address: 3121 E. GRAND RIVER AVE City: HOWELL State: MI Zip: 48843
E-Mail: scottt@bosseng.com Phone: 517-546-4836 Cell: _____

STORM WATER OPERATOR (SWO) INFORMATION

Is the disturbed area over one (1) acre? ☐ NO ☒ YES (If yes, Storm Water Operator is required.)

NOTE: The SWO REPORTS ARE REQUIRED TO BE SUBMITTED TO THE LCDC INSPECTOR via e-mail (or other means) as they are generated until the project is stabilized.

Name: SCOTT TOUSIGNANT Certification: # C-17116

Company Name: BOSS ENGINEERING

Address: 3121 E. GRAND RIVER AVE City: HOWELL State: MI Zip: 48843

E-Mail: scottt@bosseng.com Phone: 517-546-4836 Cell: _____

PROJECT INFORMATION

Type of Earth Change: MASS GRADING FOR RESIDENTIAL DEVELOPMENT. UTILITY INSTALLATION

Total of Area of Parcel (s): 53.2± Acres Total Area of Proposed Earth Change: 1,595,668 Sq. Ft.

Soil Type Information: ☐ Clay ☐ Clay loam ☐ Fill ☐ Gravel ☐ Sand ☐ Sandy Clay

☐ Sandy loam ☐ Silt ☒ Silty clay ☒ Topsoil Other: _____

(Information from the Environmental Health Dept. Perk Test or USDA Soil Survey, if available. If not, list soil type[s] as you know them.)

HYDROLOGIC CHARACTERISTICS OF THE SITE

Type of "Ultimate" drainage outlet(s). Check all that apply and complete the required information:

☒ Existing Drainage System ☐ New Drainage System ☒ Modification to Existing Drainage System

Distance to nearest Water, Drain or Basin: 0' TO WETLAND

☐ County Drain Name of the County Drain: _____

☐ Open Drain ☐ Enclosed Drain

☐ Lake / Pond Name of Lake / Pond: _____

☐ River/Stream Name of River/Stream: _____

☒ Wetland

☒ Detention Basin (with Outlet) ☐ Retention Basin (no Outlet)

Will the project include any work or disruption within a 100-year flood plain? ☐ YES ☒ NO

Does the project include any work within the cross-section of a lake/stream? ☐ YES ☒ NO

Is an MDEQ permit required? ☒ YES - MDEQ Permit # WRP003569 ☐ NO

ORIGINAL SIGNATURES FROM APPLICANT AND OWNER (EVEN IF THEY ARE THE SAME) ARE REQUIRED

I have completed this permit application and I hereby certify that all of the information submitted as part of this application is accurate to the best of my knowledge. I have read, understand, and accept the terms, conditions, and requirements included with this application and of the LCDC SESC program. I hereby certify that the proposed work is authorized by the owner of record and that I am the owner of record or have been authorized by the owner to make this application as their designated agent. I/we hereby agree to conform to all applicable laws of the State of Michigan, and we understand our responsibilities under Part 91 of Act 451 and the Livingston County SESC Ordinance.

Landowner's / Easement Owner's Name (Print): CHRISTOPHER COUSINO

Landowner's / Easement Owner's Signature: [Signature]

AND

Applicant's Name (Print): CHRISTOPHER COUSINO

Applicant's Signature: [Signature]



Livingston County Drain Commissioners Office

Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended,
and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843
Phone: 517-546-0040 Website: www.livgov.com/drain E-mail: drain@livgov.com

In accordance with Part 91 of Act 451, as amended, and its corresponding General Rules, and the Livingston County SESC Ordinance, the undersigned herewith makes application for a **COMMERCIAL** Soil Erosion and Sedimentation Control (SESC) permit for the following:

Please fill out all sections that apply. The application must be typed or filled in with pen. The application with original signatures should be submitted to the LCDC office. Incomplete applications will be delayed.

PROJECT INFORMATION (Please type or print clearly.) **Start Date: 6/12/18 End Date: 6/12/2021**

Development Name: Green Oak Crossing Lot # _____
Township: Green Oak Section (s): 19, 20, T 1 N-R 6 E.
Parcel Tax Identification Number (s): 47 16 - 30 - 100 - 043 § 16-19-300-002
Street Address (if applicable) N/A
Nearest Major Crossroads: Spicer & M-36 (north side), south of Winans Lake Rd

ROLE (Check all that apply): ☒ OWNER ☒ APPLICANT ☐ CONTRACTOR

Company: M/I Homes of Michigan, LLC
Contact Person's Name: Nikki Jeffries ☒ Responsible Person
Address: 1668 S. Telegraph Rd City: Bloomfield Hills State: MI Zip: 48302
E-Mail: njeffries@mihomes.com Phone: 248-892-0889 Cell:

ROLE (Check all that apply): ☐ OWNER ☐ APPLICANT ☒ CONTRACTOR

Company: Stante Excavating
Contact Person's Name: Mike Neibauer ☐ Responsible Person
Address: 46912 Liberty Rd. City: Wixom State: MI Zip: 48393
E-Mail: mneibauer@stantebv.com Phone: 248-624-0030 Cell:

DESIGNATED AGENT

➤ IS THE CONTRACTOR THE DESIGNATED AGENT OF THE LAND OWNER AND THEREFORE RESPONSIBLE FOR ALL SITE ACTIVITY, COMPLIANCE, AND VIOLATIONS? ☒ Yes ☐ No ☐ N/A (If Contractor & Owner are the same)

➤ IS THE CONTRACTOR RESPONSIBLE FOR FEES? ☐ Yes ☒ No ☐ N/A (If Contractor & Owner are the same)

OWNER'S INITIALS: NAS

CONTRACTOR'S INITIALS: See attached

DESIGN ENGINEER

Company: Wastenaw Engineering Co.
Contact Person's Name: Bob Warty & Seth Garner
Address: 3526 W. Liberty, Ste 400 City: Ann Arbor State: MI Zip: 48103
E-Mail: rw@wengco.com Phone: 734-761-8800 Cell: 734-649-9844

STORM WATER OPERATOR (SWO) INFORMATION

Is the disturbed area over one (1) acre? ☐ NO ☐ YES (If yes, Storm Water Operator is required.)

NOTE: The SWO REPORTS ARE REQUIRED TO BE SUBMITTED TO THE LCDC INSPECTOR via e-mail (or other means) as they are generated until the project is stabilized.

Name: Michael McCutcheon Certification: # C-00023 (exp 2020)

Company Name: J.M. Construction

Address: PO Box 175 City: New Hudson State: MI Zip: 48165

E-Mail: jmsalt@aol.com Phone: 248-685-0757 Cell: _____

PROJECT INFORMATION

Type of Earth Change: grading for 29 lots single family site condo
Total of Area of Parcel (s): 21.24 Acres Total Area of Proposed Earth Change: 925,287 Sq. Ft.

Soil Type Information: ☐ Clay ☐ Clay loam ☐ Fill ☐ Gravel ☐ Sand ☐ Sandy Clay

☐ Sandy loam ☐ Silt ☐ Silty clay ☐ Topsoil Other: Marley Loam

(Information from the Environmental Health Dept. Perk Test or USDA Soil Survey, if available. If not, list soil type[s] as you know them.)

HYDROLOGIC CHARACTERISTICS OF THE SITE

Type of "Ultimate" drainage outlet(s). Check all that apply and complete the required information:

☐ Existing Drainage System ☒ New Drainage System ☐ Modification to Existing Drainage System

Distance to nearest Water, Drain or Basin: 450'

☐ County Drain Name of the County Drain: _____

☐ Open Drain ☐ Enclosed Drain

☒ Lake / Pond Name of Lake / Pond: unnamed

☐ River/Stream Name of River/Stream: _____

☐ Wetland

☐ Detention Basin (with Outlet) ☒ Retention Basin (no Outlet)

Will the project include any work or disruption within a 100-year flood plain? ☐ YES ☒ NO

Does the project include any work within the cross-section of a lake/stream? ☐ YES ☒ NO

Is an MDEQ permit required? ☒ YES - MDEQ Permit # 14-47-0008-P ☐ NO

ORIGINAL SIGNATURES FROM APPLICANT AND OWNER (EVEN IF THEY ARE THE SAME) ARE REQUIRED

I have completed this permit application and I hereby certify that all of the information submitted as part of this application is accurate to the best of my knowledge. I have read, understand, and accept the terms, conditions, and requirements included with this application and of the LCDC SESC program. I hereby certify that the proposed work is authorized by the owner of record and that I am the owner of record or have been authorized by the owner to make this application as their designated agent. I/we hereby agree to conform to all applicable laws of the State of Michigan, and we understand our responsibilities under Part 91 of Act 451 and the Livingston County SESC Ordinance.

Landowner's / Easement Owner's Name (Print): Nicole A. Jeffner - M/I Homes of Michigan

Landowner's / Easement Owner's Signature: [Signature]

AND

Applicant's Name (Print): Nicole A. Jeffner - M/I Homes of Michigan

Applicant's Signature: [Signature]



Livingston County Drain Commissioners Office Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended,
and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843

Phone: 517-546-0040 Website: www.livgov.com/drain E-mail: drain@livgov.com

In accordance with Part 91 of Act 451, as amended, and its corresponding General Rules, and the Livingston County SESC Ordinance, the undersigned herewith makes application for a COMMERCIAL Soil Erosion and Sedimentation Control (SESC) permit for the following:

Please fill out all sections that apply. The application must be typed or filled in with pen. The application with original signatures should be submitted to the LCDC office. Incomplete applications will be delayed.

PROJECT INFORMATION (Please type or print clearly.)

Development Name:	<u>Green Oak Crossing</u>	Lot #	_____
Township:	<u>Green Oak</u>	Section (s):	<u>19, 20, T 1 N-R 6 E</u>
Parcel Tax Identification Number (s):	<u>47 16 - 30 - 100 - 043 & 16-19-300-002</u>		
Street Address (if applicable)	_____		
Nearest Major Crossroads:	<u>Spicer / Winans Lake Road</u>		

ROLE (Check all that apply): ☒ OWNER ☒ APPLICANT ☐ CONTRACTOR

Company:	<u>Green Oak Crossing LLC</u>		
Contact Person's Name:	<u>Ron Cook</u>	<input checked="" type="checkbox"/> Responsible Person	
Address:	<u>296 S. Main, PO Box 6391</u>	City:	<u>Plymouth</u> State: <u>MI</u> Zip: <u>48170</u>
E-Mail:	<u>cook4856@sbcglobal.net</u>	Phone:	_____ Cell: <u>734-216-1933</u>

ROLE (Check all that apply): ☐ OWNER ☐ APPLICANT ☒ CONTRACTOR

Company:	<u>Stante Excavating</u>		
Contact Person's Name:	<u>Mike Neibauer</u>	<input type="checkbox"/> Responsible Person	
Address:	<u>46912 Liberty Rd</u>	City:	<u>Wixom</u> State: <u>MI</u> Zip: <u>48393</u>
E-Mail:	<u>mneibauer@stantebv.com</u>	Phone:	<u>248-624-0030</u> Cell: _____

DESIGNATED AGENT

- IS THE CONTRACTOR THE DESIGNATED AGENT OF THE LAND OWNER AND THEREFORE RESPONSIBLE FOR ALL SITE ACTIVITY, COMPLIANCE, AND VIOLATIONS? ☒ Yes ☐ No ☐ N/A (If Contractor & Owner are the same)
- IS THE CONTRACTOR RESPONSIBLE FOR FEES? ☐ Yes ☒ No ☐ N/A (If Contractor & Owner are the same)

OWNER'S INITIALS: f.c.

CONTRACTOR'S INITIALS: mn

DESIGN ENGINEER

Company:	<u>Washtenaw Engineering Co</u>		
Contact Person's Name:	<u>Bob Wanty</u>		
Address:	<u>3526 W. Liberty Rd, Ste 400</u>	City:	<u>Ann Arbor</u> State: <u>MI</u> Zip: <u>48103</u>
E-Mail:	<u>rjw@wengco.com</u>	Phone:	<u>734-761-8800</u> Cell: <u>734-649-9844</u>



Livingston County Drain Commissioners Office Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended,
and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843
Phone: 517-546-0040 Website: www.livgov.com/drain E-mail: drain@livgov.com

In accordance with Part 91 of Act 451, as amended, and its corresponding General Rules, and the Livingston County SESC Ordinance, the undersigned herewith makes application for a COMMERCIAL Soil Erosion and Sedimentation Control (SESC) permit for the following:

Please fill out all sections that apply. The application must be typed or filled in with pen. The application with original signatures should be submitted to the LCDR office. Incomplete applications will be delayed.

PROJECT INFORMATION (Please type or print clearly.) Start Date: 11/28/19 End Date: 12/26/2020

Development Name: Proposed Memory Care Legacy Addition Lot # _____
Township: Howell, Section (s): 26, T 3 N-R 4 E,
Parcel Tax Identification Number (s): 47 0 6 - 2 6 - 2 0 0 - 0 1 9
Street Address (if applicable) 1500 Byron Rd.
Nearest Major Crossroads: West Highland Rd.

ROLE (Check all that apply): ☒ OWNER ☐ APPLICANT ☐ CONTRACTOR

Company: Trilogy Health Services
Contact Person's Name: Terry Tracy ☐ Responsible Person
Address: 303 N. Hurstbourne City: Louisville State: KY Zip: 40222
E-Mail: terry.tracy@trilogyhs.com Phone: 502.526.6299 Cell: 502.526.6299

ROLE (Check all that apply): ☐ OWNER ☒ APPLICANT ☒ CONTRACTOR

Company: DMK Development Group
Contact Person's Name: Michael Kitchen ☒ Responsible Person
Address: 9300 Shelbyville Rd S.800 City: Louisville State: KY Zip: 40222
E-Mail: mkitchen@dmkdevelopment.com Phone: 502.423.0662 Cell: 502.500.9864

DESIGNATED AGENT Resp Also SWO

➤ IS THE CONTRACTOR THE DESIGNATED AGENT OF THE LAND OWNER AND THEREFORE RESPONSIBLE FOR ALL SITE ACTIVITY, COMPLIANCE, AND VIOLATIONS? ☒ Yes ☐ No ☐ N/A (If Contractor & Owner are the same)

➤ IS THE CONTRACTOR RESPONSIBLE FOR FEES? ☐ Yes ☒ No ☐ N/A (If Contractor & Owner are the same)

OWNER'S INITIALS: FT

CONTRACTOR'S INITIALS: [Signature]

DESIGN ENGINEER

Company: Mannik Smith Group
Contact Person's Name: Mark Smoley
Address: 23225 Mercantile Rd. City: Beachwood State: OH Zip: 44122
E-Mail: msmoley@manniksmithgroup.com Phone: 216-378-1490 Cell: _____

Ref: Review # PSCREV 2018-00114

STORM WATER OPERATOR (SWO) INFORMATION

Is the disturbed area over one (1) acre? ☐ NO ☒ YES (If yes, Storm Water Operator is required.)

NOTE: The SWO REPORTS ARE REQUIRED TO BE SUBMITTED TO THE LCDC INSPECTOR via e-mail (or other means) as they are generated until the project is stabilized.

Name: Arthur D. Arendt Certification: # 20288

Company Name: E.T. MacKenzie Company

Address: 6400 Jackson Rd. City: Ann Arbor State: MI Zip: 48103

E-Mail: aarendt Phone: 734.277.9632 Cell: 734.277.9632

PROJECT INFORMATION

Type of Earth Change: excavation for building, pavement, utility and sewer construction, and site grading

Total of Area of Parcel (s): 2.03 Acres Total Area of Proposed Earth Change: 95219 Sq. Ft.

Soil Type Information: ☐ Clay ☐ Clay loam ☐ Fill ☐ Gravel ☐ Sand ☐ Sandy Clay

☒ Sandy loam ☐ Silt ☐ Silty clay ☐ Topsoil Other: _____

(Information from the Environmental Health Dept. Perk Test or USDA Soil Survey, if available. If not, list soil type[s] as you know them.)

HYDROLOGIC CHARACTERISTICS OF THE SITE

Type of "Ultimate" drainage outlet(s). Check all that apply and complete the required information:

☒ Existing Drainage System ☐ New Drainage System ☐ Modification to Existing Drainage System

Distance to nearest ~~Water Drain~~ Basin: on site, constructed in 2013 project

☐ County Drain Name of the County Drain: _____

☐ Open Drain ☐ Enclosed Drain

☐ Lake / Pond Name of Lake / Pond: _____

☐ River/Stream Name of River/Stream: _____

☐ Wetland

☐ Detention Basin (with Outlet) ☐ Retention Basin (no Outlet)

Will the project include any work or disruption within a 100-year flood plain? ☐ YES ☒ NO

Does the project include any work within the cross-section of a lake/stream? ☐ YES ☒ NO

Is an MDEQ permit required? ☐ YES - MDEQ Permit # _____ ☒ NO

ORIGINAL SIGNATURES FROM APPLICANT AND OWNER (EVEN IF THEY ARE THE SAME) ARE REQUIRED

I have completed this permit application and I hereby certify that all of the information submitted as part of this application is accurate to the best of my knowledge. I have read, understand, and accept the terms, conditions, and requirements included with this application and of the LCDC SESC program. I hereby certify that the proposed work is authorized by the owner of record and that I am the owner of record or have been authorized by the owner to make this application as their designated agent. I/we hereby agree to conform to all applicable laws of the State of Michigan, and we understand our responsibilities under Part 91 of Act 451 and the Livingston County SESC Ordinance.

Landowner's / Easement Owner's Name (Print): Terry Tracy

Landowner's / Easement Owner's Signature: Terry Tracy

AND

Applicant's Name (Print): Michael Kitchen

Applicant's Signature: Michael Kitchen

Attachment 2

LCDC Updated Plan Review Checklist
and
Updated Site Plans/ Documentation for Open Permits



Livingston County Drain Commissioners Office

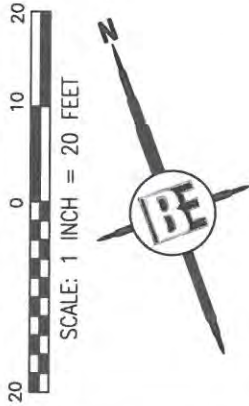
Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended,
and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843
Phone: 517-546-0040 Website: www.livgov.com/drain Email: drain@livgov.com

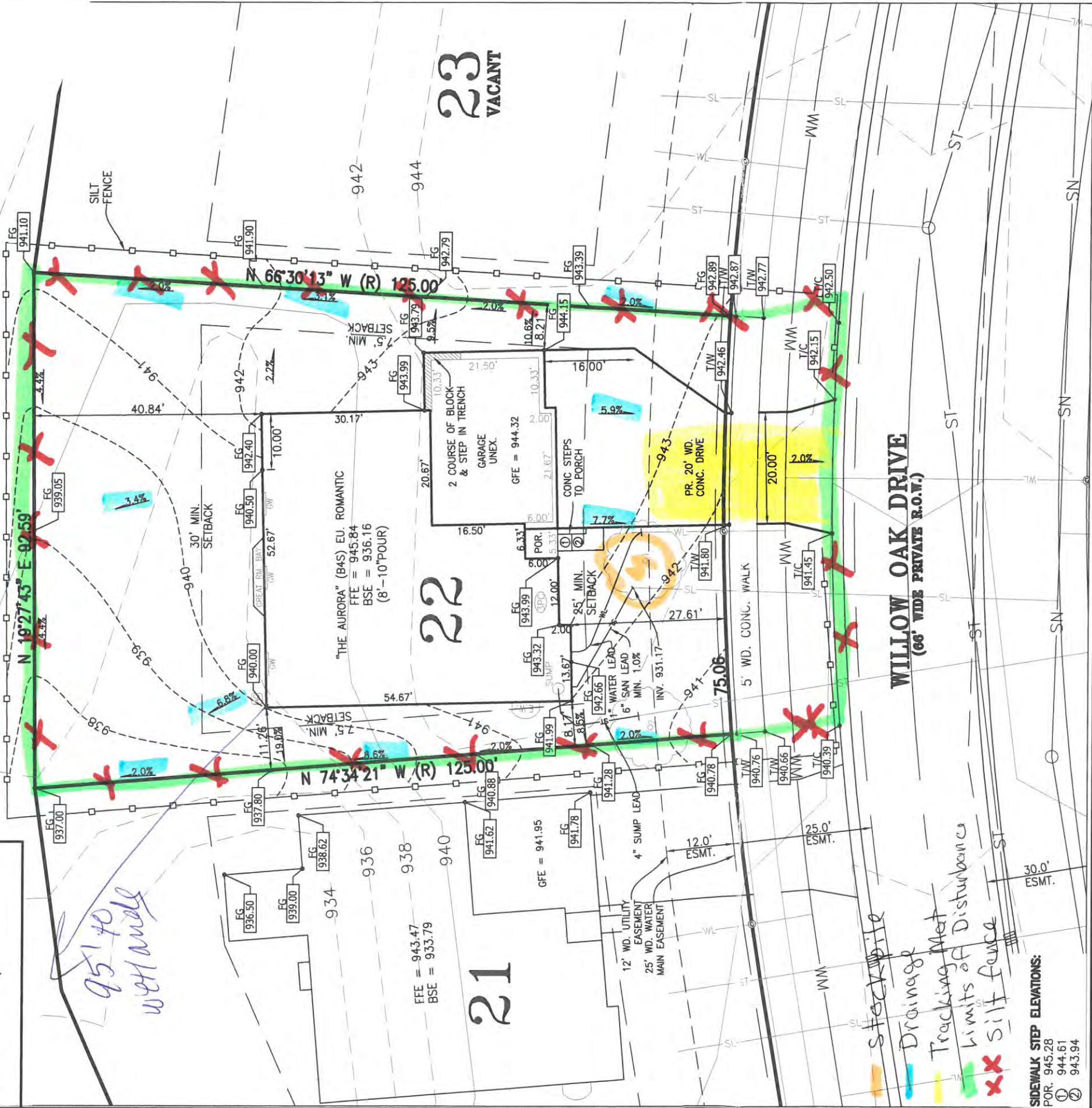
Livingston County Drain Office Site Plan Review Checklist

- ☐ A map or maps at a scale of not more than 200 feet to the inch or as otherwise determined by the county or local enforcing agency. A map shall include a legal description and site location sketch that includes the proximity of any proposed earth change to lakes or streams, or both; predominant land features; and contour intervals or slope description.
- ☐ A soils survey or a written description of the soil types of the exposed land area contemplated for the earth change.
- ☐ Details for proposed earth changes, including all of the following:
 - A description and the location of the physical limits of each proposed earth change.
 - A description and the location of all existing and proposed on-site drainage and dewatering facilities.
 - The timing and sequence of each proposed earth change.
 - The location and description for installing and removing all proposed temporary soil erosion and sediment control measures.
 - A description and the location of all proposed permanent soil erosion and sediment control measures.
 - A program proposal for the continued maintenance of all permanent soil erosion and sediment control measures that remain after project completion, including the designation of the person responsible for the maintenance. Maintenance responsibilities shall become a part of any sales or exchange agreement for the land on which the permanent soil erosion control measures are located.



UNIT 22 "WILLOW WOODS"

A PART OF THE SW 1/4 OF SECTION 19, AND NW 1/4 OF SECTION 30, T11N-R6E, GREEN OAK TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN



- ESTIMATED/PROPOSED QUANTITIES**
- 21 LF OF 6" SANITARY LEAD
 - 19 LF OF 4" SUMP PIPE
 - 905 SFT CONC. DRIVE AREA
 - 387 SFT CONC. APRON AREA
 - 275 SFT CONC. SIDEWALK AT ROAD
 - 27 SFT CONC. WALK AT HOUSE (3')
 - 3,023 SFT HOUSE COVERAGE

- LEGEND**
- EXISTING SPOT ELEVATION
 - PROPOSED SPOT ELEVATION
 - STORM DRAINAGE FLOW
 - FINISHED GRADE
 - HIGH POINT
 - FIRST FLOOR ELEVATION
 - BASEMENT SLAB ELEVATION
 - GARAGE FLOOR ELEVATION
 - TOP OF WALK
 - TOP OF CURB
 - CONCRETE
 - MANHOLE
 - STORM CATCH BASIN (BEEHIVE)
 - SANITARY SEWER
 - SANITARY LEAD
 - WATER MAIN
 - WATER LEAD
 - STORM SEWER
 - TREE

- NOTES:**
- CONTOURS ARE BASED ON THE PROJECT MASS GRADING TEMPLATE. SPOT ELEVATIONS FOR UTILITIES AND CURB ARE BASED ON DESIGN ELEVATIONS, NOT AS-BUILT. ELEVATIONS SHOULD BE FIELD VERIFIED.
 - SANITARY LEAD INVERT SHOWN AT THE STUB IS DESIGN ELEVATION. PRIOR TO BASEMENT EXCAVATION, CONTRACTOR SHALL EXPOSE AND VERIFY SANITARY LEAD ELEVATION. A HIGHER BASEMENT FLOOR MAY BE NEEDED TO MAINTAIN GRAVITY FLOW WITHOUT HUNG PLUMBING.
 - IT IS THE CLIENT'S RESPONSIBILITY TO REVIEW THIS DRAWING FOR ALL HOUSE PLAN DATA, INCLUDING (BUT NOT LIMITED TO) ELEVATION, HOUSE AND BASEMENT SIZES, CANTILEVERS, ETC., AND, THE HOUSE LOCATION AND ORIENTATION ON THE PARCEL. ANY DISCREPANCIES NOT BROUGHT TO OUR ATTENTION, SHALL BE THE SOLE RESPONSIBILITY OF THE CLIENT.
 - FOUNDATION DIMENSIONS SHOWN SHOULD BE USED FOR BASEMENT EXCAVATION PURPOSES ONLY. FOUNDATION CONTRACTOR SHALL USE THE ARCHITECTURAL FOUNDATION PLAN DIMENSIONS FOR LAYOUT AND CONSTRUCTION OF FOUNDATIONS.
 - EXCESS 1" WATER LEAD PIPING HAS BEEN COILED AND BURIED BENEATH GRADE JUST BEYOND THE 12' WIDE FRANCHISE UTILITY EASEMENT. JOINTS ON THE WATER LEAD ARE NOT PERMITTED EXTERIOR TO THE HOUSE.
 - REQUIRED DECIDUOUS REPLACEMENT TREE SPECIES SHALL BE DETERMINED BY OWNER AND SHALL BE IN ACCORDANCE WITH ALL GREEN OAK TWP ORDINANCES.
 - GFE ELEVATION SHOWN REPRESENTS THE GARAGE FLOOR ELEVATION WHERE GARAGE SLAB MEETS DRIVEWAY. ELEVATIONS SHOWN INCORPORATES A 2" LIP AT THE INTERFACE BETWEEN THE GARAGE AND DRIVEWAY.
- SOIL EROSION SEQUENCE OF OPERATIONS:
- PERSON(S) RESPONSIBLE FOR SOIL EROSION CONTROL INSTALLATION AND MAINTENANCE SHALL BE LOMBARDO COMPANIES (586-697-3223).
 - ALL CATCH BASINS/INLETS SHALL BE PROTECTED WITH EITHER A PEA STONE INLET FILTER OR SEDIMENT SACK.
 - MAINTAIN SOIL EROSION CONTROL MEASURES AT ALL TIMES UNTIL FINAL LANDSCAPING & PAVING ARE COMPLETED AND ACCEPTED BY THE TWP.
 - THE SOIL EROSION CONTROLS WILL BE MAINTAINED WEEKLY AND AFTER EACH STORM EVENT.
 - ADJACENT ROAD SHALL BE KEPT CLEAN AT ALL TIMES.

TREE LIST 1: ACER SACCHARUM 'LEGACY' 2: TILIA CORDATA 'GREENSPIRE' NOTE: 4 REPLACEMENT TREES ARE REQ. (1 IN FRONT YD & 3 IN REAR YD) *ALL TREES TO BE 2.5" CALIPER MIN.	UNIT AREA = 10,382 SQ FT
MINIMUM SETBACKS FRONT = 25 FEET REAR = 30 FEET SIDE = 7.5 FEET MIN. (EACH)	PROPOSED HOUSE - UNIT 22 FINISH FLOOR = 945.84 (+1.85') 11-7/8" FLOOR JOISTS TOP/FOUNDATION = 944.66 (+0.67') FINISH GRADE = 943.99 (0+00) 8'-10" BSMT WALL TOP/BASEMENT SLAB = 936.16 (-7.83') TOP/FOOTING = 935.83 (-8.16')
BM TO T/FOUNDATION CUT/FILL)	

UNIT 22 PLOT PLAN

CLIENT
LOMBARDO HOMES
13001 23 MILE ROAD, SUITE 200
SHELBY TOWNSHIP, MI 48315
PHONE: 586-697-3223

SCOTT T. TOUSIGNANT
ENGINEER
NO. 64872
LICENSED PROFESSIONAL ENGINEER
STATE OF MICHIGAN

REBOSS Engineering
Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
800.246.6735 FAX 517.548.1670

3 WORKING DAYS
BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171
FOR THE LOCATION OF UNDERGROUND FACILITIES



Livingston County, Michigan
Information Technology Department
G.I.S. Division
304 E. Grand River Ave., Howell, MI 48843
517.548.3230
<http://www.livgov.com/gis>

Printed: 7/30/2019
Aerial Year: 2015

25 12.5 0 25 50 Feet
1 inch = 42 feet

Livingston County

MAP INTERPRETATION NOTICE
Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of Livingston County. Boundary measurements and area calculations are approximations and should not be construed as survey measurements.

9870 Willow Oak Dr. Site Plan Attachment

Legal Description:

PART OF THE SOUTHWEST 1/4 OF SECTION 19, T1N-R6E, GREEN OAK TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS WILLOW WOODS UNIT 22 LIVINGSTON COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 419

Soils Information: Silty Clay

Timing and sequencing of earth changes:

Construction Schedule

Year 2019												
Construction Sequence	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Temporary SESC Measures												
Building Demolition												
Strip and Stockpile												
Rough Grading												
Underground Utilities												
Road Installation												
Building Construction												
Permanent SESC Measures												
Final Grade												
Landscaping												

Permanent SESC measures: Sod (October 2019)

Maintenance plan for permanent measures: Regular lawn maintenance by homeowner

- Limits of disturbance
- silt fence
- stock pile
- Tracking mat
- Surface water & Drains



SIDEWALK STEP ELEVATIONS:

POR.	978.33
①	977.67
②	977.00
③	976.33
④	975.67
⑤	975.00

2. 24 LF OF 6" SANITARY LEAD
3. 26 LF OF 4" SUMP PIPE
4. 432 SFT CONC. DRIVE AREA
5. 312 SFT CONC. APRON AREA
6. 480 SFT CONC. SIDEWALK AT ROAD
7. 60 SFT CONC. WALK AT HOUSE (3')
8. 1,738 SFT HOUSE COVERAGE

922.00
+ FG 100.0

EXISTING SPOT ELEVATION
PROPOSED SPOT ELEVATION
STORM DRAINAGE FLOW
FINISHED GRADE
HIGH POINT
FIRST FLOOR ELEVATION
BASEMENT SLAB ELEVATION
GARAGE FLOOR ELEVATION
TOP OF WALK
TOP OF CURB
CONCRETE
MANHOLE
STORM CATCH BASIN (BEEHIVE)
SANITARY SEWER
SANITARY LEAD
WATER MAIN
WATER LEAD
STORM SEWER
SILT FENCE
TREE

BEBOSS *Engineering*
Engineers Surveyors Planners Landscape Architects

800.246.6735 FAX 517.548.1670

1. CONTOURS ARE BASED ON THE PROJECT MASS GRADING TEMPLATE. SPOT ELEVATIONS FOR UTILITIES AND CURB ARE BASED ON DESIGN ELEVATIONS, NOT AS-BUILT. ELEVATIONS SHOULD BE FIELD VERIFIED.
2. SANITARY LEAD INVERT SHOWN AT THE STUB IS DESIGN ELEVATION. PRIOR TO BASEMENT EXCAVATION, CONTRACTOR SHALL EXPOSE AND VERIFY SANITARY LEAD ELEVATION. A HIGHER BASEMENT FLOOR MAY BE NEEDED TO MAINTAIN GRAVITY FLOW WITHOUT HUNG PIPING.
3. IT IS THE CLIENTS RESPONSIBILITY TO REVIEW THIS DRAWING FOR ALL HOUSE PLAN DATA, INCLUDING (BUT NOT LIMITED TO) ELEVATION, HOUSE AND BASEMENT SIZES, CANTILEVERS, ETC., AND, THE HOUSE LOCATION AND ORIENTATION ON THE PARCEL. ANY DISCREPANCIES NOT BROUGHT TO OUR ATTENTION, SHALL BE THE SOLE RESPONSIBILITY OF THE CLIENT.
4. FOUNDATION DIMENSIONS SHOWN SHOULD BE USED FOR BASEMENT EXCAVATION PURPOSES ONLY. FOUNDATION CONTRACTOR SHALL USE THE ARCHITECTURAL FOUNDATION PLAN DIMENSIONS FOR LAYOUT AND CONSTRUCTION OF FOUNDATIONS.
5. EXCESS 1" WATER LEAD PIPING HAS BEEN COILED AND BURIED BENEATH GRADE JUST BEYOND THE 12' WIDE FRANCHISE UTILITY EASEMENT. JOINTS ON THE WATER LEAD ARE NOT PERMITTED EXTERIOR TO THE HOUSE.
6. REQUIRED DECIDUOUS REPLACEMENT TREE SPECIES SHALL BE DETERMINED BY OWNER AND SHALL BE IN ACCORDANCE WITH ALL GREEN OAK TWP ORDINANCES.
7. GFE ELEVATION SHOWN REPRESENTS THE GARAGE FLOOR ELEVATION WHERE GARAGE SLAB MEETS DRIVEWAY. ELEVATIONS SHOWN INCORPORATES A 2" LIP AT THE INTERFACE BETWEEN THE GARAGE AND DRIVEWAY.

SOIL EROSION SEQUENCE OF OPERATIONS:

1. PERSON(S) RESPONSIBLE FOR SOIL EROSION CONTROL INSTALLATION AND MAINTENANCE SHALL BE LOMBARDO COMPANIES (586-697-3223).
2. ALL CATCH BASINS/INLETS SHALL BE PROTECTED WITH EITHER A PEA STONE INLET FILTER OR SEDIMENT SACK.
3. MAINTAIN SOIL EROSION CONTROL MEASURES AT ALL TIMES UNTIL FINAL LANDSCAPING & PAVING ARE COMPLETED AND ACCEPTED BY THE TWP.
4. THE SOIL EROSION CONTROLS WILL BE MAINTAINED WEEKLY AND AFTER EACH STORM EVENT.
5. ADJACENT ROAD SHALL BE KEPT CLEAN AT ALL TIMES.

CLIENT

LOMBARDO HOMES
13001 23 MILE ROAD, SUITE 200
SHELBY TOWNSHIP, MI 48315
PHONE: 586-697-3223

JOB NO. 18-006-10	SHEET 1 OF 1
DATE: 7-5-2018	
DRAWN BY: ST	CHECKED: BL
SCALE: 1"=20'	

1-2: GLEDITSIA TRIACANTHOS VAR. INERMIS
NOTE: 4 REPLACEMENT TREES ARE REQ.
(1 IN FRONT YD & 3 IN REAR YD)
*ALL TREES TO BE 2.5" CALIPER MIN.

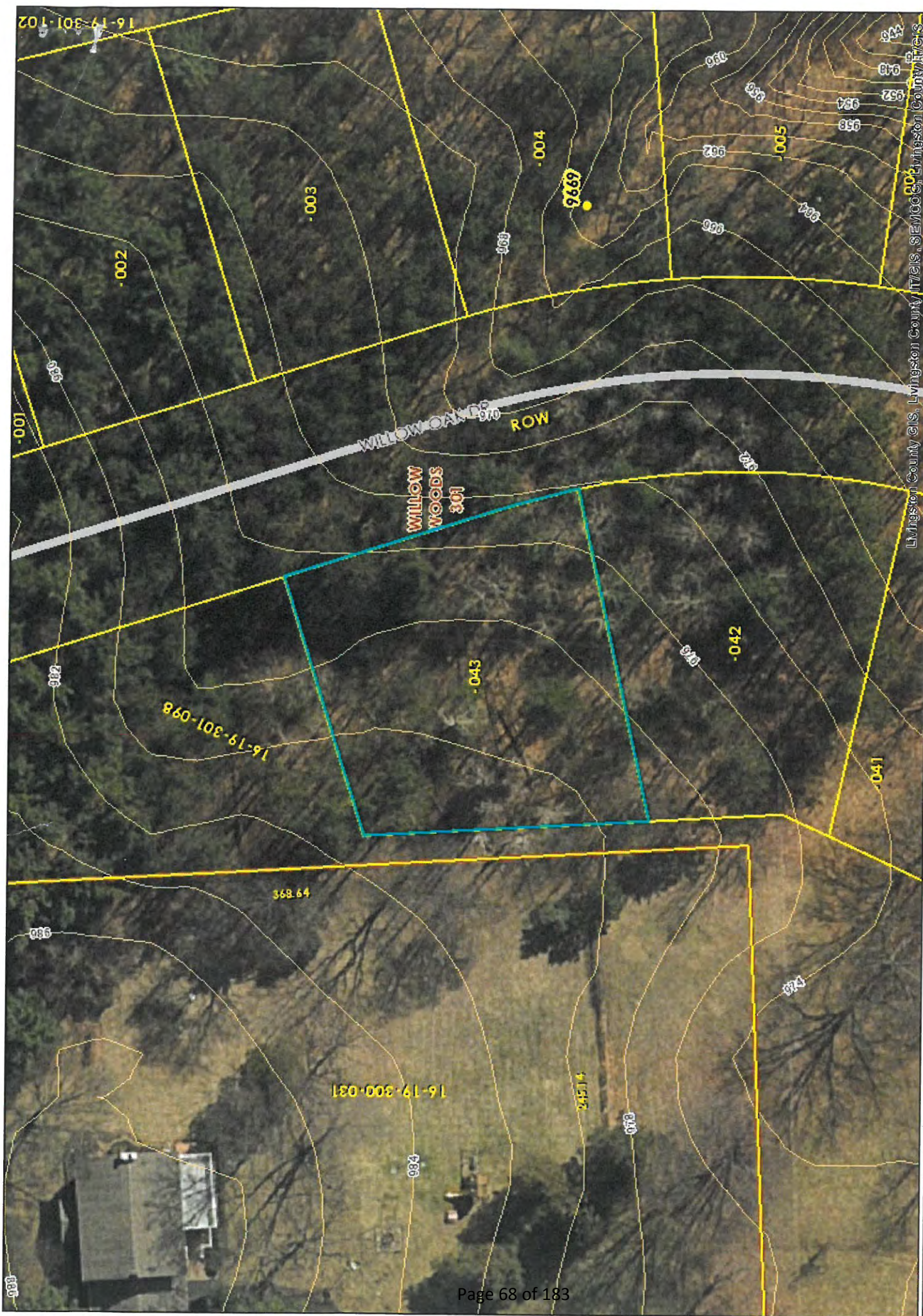
MINIMUM SETBACKS
FRONT = 25 FEET
REAR = 30 FEET
SIDE = 7.5 FEET

PROPOSED HOUSE - UNIT 43
FINISH FLOOR = **978.89** (+1.85")
11'-7/8" FLOOR JOISTS
TOP/FOOTING = **977.71** (+0.67")
FINISH GRADE = **977.04** (0+00)
7'-10" BSMT WALL
TOP/BASEMENT SLAB = **970.21** (-6.63")
TOP/FOOTING = **969.86** (-7.16")



THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES AND PROPOSED UTILITY CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY CONFLICTS ARE APPARENT OR IF THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLANS.





MAP INTERPRETATION NOTICE
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Printed: 7/27/2018
 Aerial Year: 2015

25 12.5 0 25 50 Feet
 1 inch = 42 feet

9656 Willow Oak

Livingston County, Michigan
 Information Technology Department
 GIS Division
 304 E. Grand River Ave., Howell, MI 48843
 517.548.3230
<http://www.livgov.com/gis>



9656 Willow Oak Dr. Site Plan Attachment

Soils Information: Clay Loam

Timing and Sequencing of Earth Changes:

Construction Schedule

Year 2018

Construction Sequence	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Temporary SESC Measures												
Building Demolition												
Strip and Stockpile												
Rough Grading												
Underground Utilities												
Road Installation												
Building Construction												
Permanent SESC Measures												
Final Grade												
Landscaping												

Year 2019

Construction Sequence	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Temporary SESC Measures												
Building Demolition												
Strip and Stockpile												
Rough Grading												
Underground Utilities												
Road Installation												
Building Construction												
Permanent SESC Measures												
Final Grade												
Landscaping												

Permanent SESC measures: Sod (proposed May 2019)

For:

CVE Homes
13937 Webster Road, Suite A
Bath, Michigan 48808

PLOT PLAN

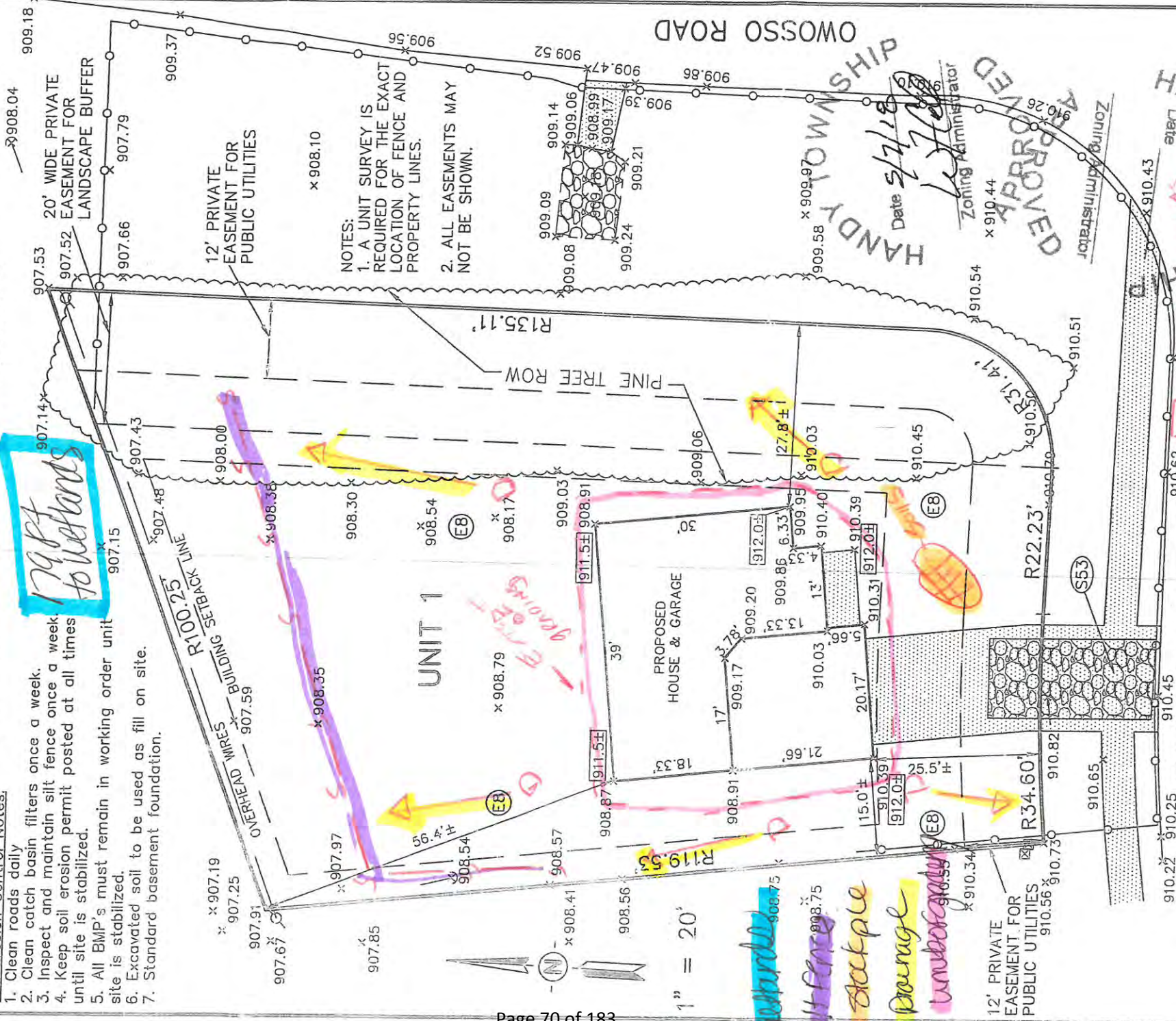
Survey Address:
Vacant- Summerbrooke Circle
Fowlerville, MI 48836
ID: 4705-01-401-001

Legal Description (as provided): Unit 1, Summerbrook Condominium, Handy Township, Livingston County, Michigan, as recorded in Livingston County Records.

Soil Erosion Control Notes:

1. Clean roads daily
2. Install catch basin filters once a week.
3. Inspect and maintain silt fence once a week.
4. Keep soil erosion permit posted at all times until site is stabilized.
5. All BMP's must remain in working order until site is stabilized.
6. Excavated soil to be used as fill on site.
7. Standard basement foundation.

1794 ft
to wetlands



1" = 20'

Unit 1
Proposed House & Garage
12' Private Easement for Public Utilities
20' Wide Private Easement for Landscape Buffer
12' Private Easement for Public Utilities

SUMMERBROOKE CIRCLE

PROPOSED TOP OF BASEMENT WALL = 913.0±

This plan was made at the direction of the parties hereon and intended solely for their immediate use and no survey has been made and no property lines were monumented, all easements recorded or unrecorded use and not be shown, unless specifically noted, and no dimensions are intended for use in establishing property lines.

R = Recorded Distance x = Existing Elevation

6297 Summerbrooke Circle Site Plan Attachment

Legal Description: 05-01-401-001 SEC1 T3N R3E SUMMERBROOKE CONDOMINIUM UNIT 1 SPLIT 9-05 FROM 021,043 & 044.

Soils Information: Sandy Loam

Timing and sequencing of earth changes:

Construction Schedule

Year 2018

Construction Sequence	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Temporary SESC Measures												
Building Demolition												
Strip and Stockpile												
Rough Grading												
Underground Utilities												
Road Installation												
Building Construction												
Permanent SESC Measures												
Final Grade												
Landscaping												

Year 2019

Construction Sequence	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Temporary SESC Measures												
Building Demolition												
Strip and Stockpile												
Rough Grading												
Underground Utilities												
Road Installation												
Building Construction												
Permanent SESC Measures												
Final Grade												
Landscaping												

Permanent SESC measures: Seed & Mulch (Aug/Sep 2019)

Maintenance plan for permanent measures: Regular lawn maintenance by homeowner

SITE PLAN

PLAT OF LAKE TYRONE ESTATES NO. 3
SECTION 3, T3N, R6E, HARTLAND TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN

SITE PLAN APPROVED

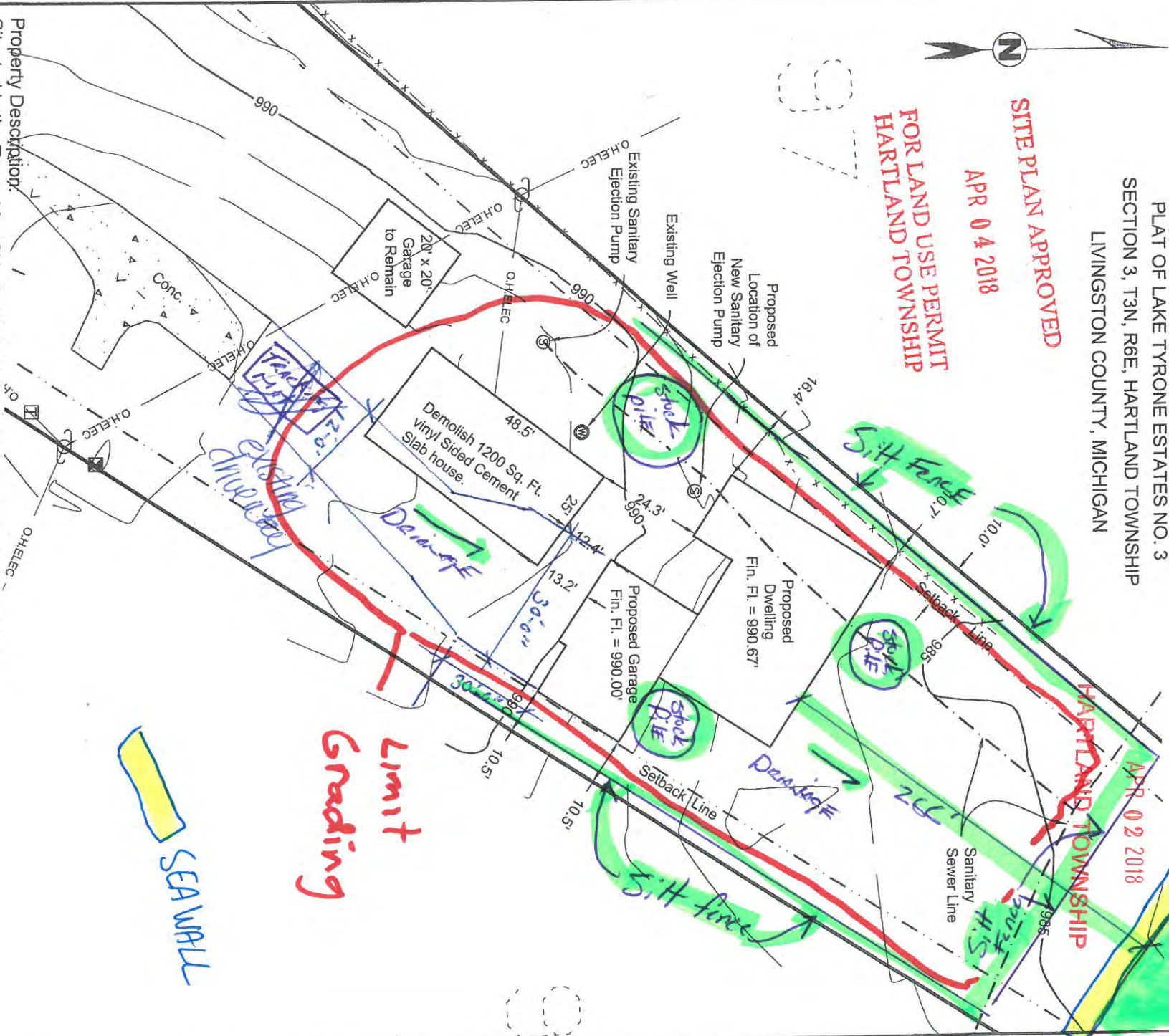
APR 04 2018

FOR LAND USE PERMIT
HARTLAND TOWNSHIP

RECEIVED

APR 02 2018

HARTLAND TOWNSHIP



Property Description:
Situating in the Township of Hartland, Livingston County, Michigan described as:
Lot 96 of the Plat of Lake Tyrone Estates No. 3, as recorded in Liber 5 of Plats, Pages 19 and 20, Livingston County Public Records.

Prepared For:

Victoria Wilczewski
11933 Reed Road
Fenton, MI 48430



I, Terry R. Campbell, have surveyed the above mapped and described property and the error of closure is less than 1 in 5000.

LEGEND

- FOUND CAPPED IRON
- SET CAPPED IRON
- FOUND IRON OR PIPE
- FOUND CONCRETE MONUMENT
- (R) RECORD (M) MEASURED

OFFICIAL SEAL

Terry R. Campbell, P.S. No: 60806
ORIGINAL SIGNATURE IN BLUE

Campbell

Surveying Engineering, Inc.

Professional Surveying Services

10051 E. Highland Road, Suite 29 www.campbellse.com
Howell, Michigan 48843 (989) 390-1189

Bearing Basis: Lake Tyrone Estates No. 3
DATE: March 26, 2018
SCALE: 1" = 30'
DWG NO: Wilczewski Lot 96_3
CLIENT: JOB Wilczewski: S18A30A

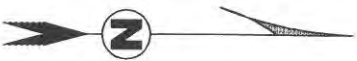
PAGE: Sheet 2 of 2
REVISED:
DRAWN BY: TRC
CHK:



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SITE PLAN

PLAT OF LAKE TYRONE ESTATES NO. 3
SECTION 3, T3N, R6E, HARTLAND TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN



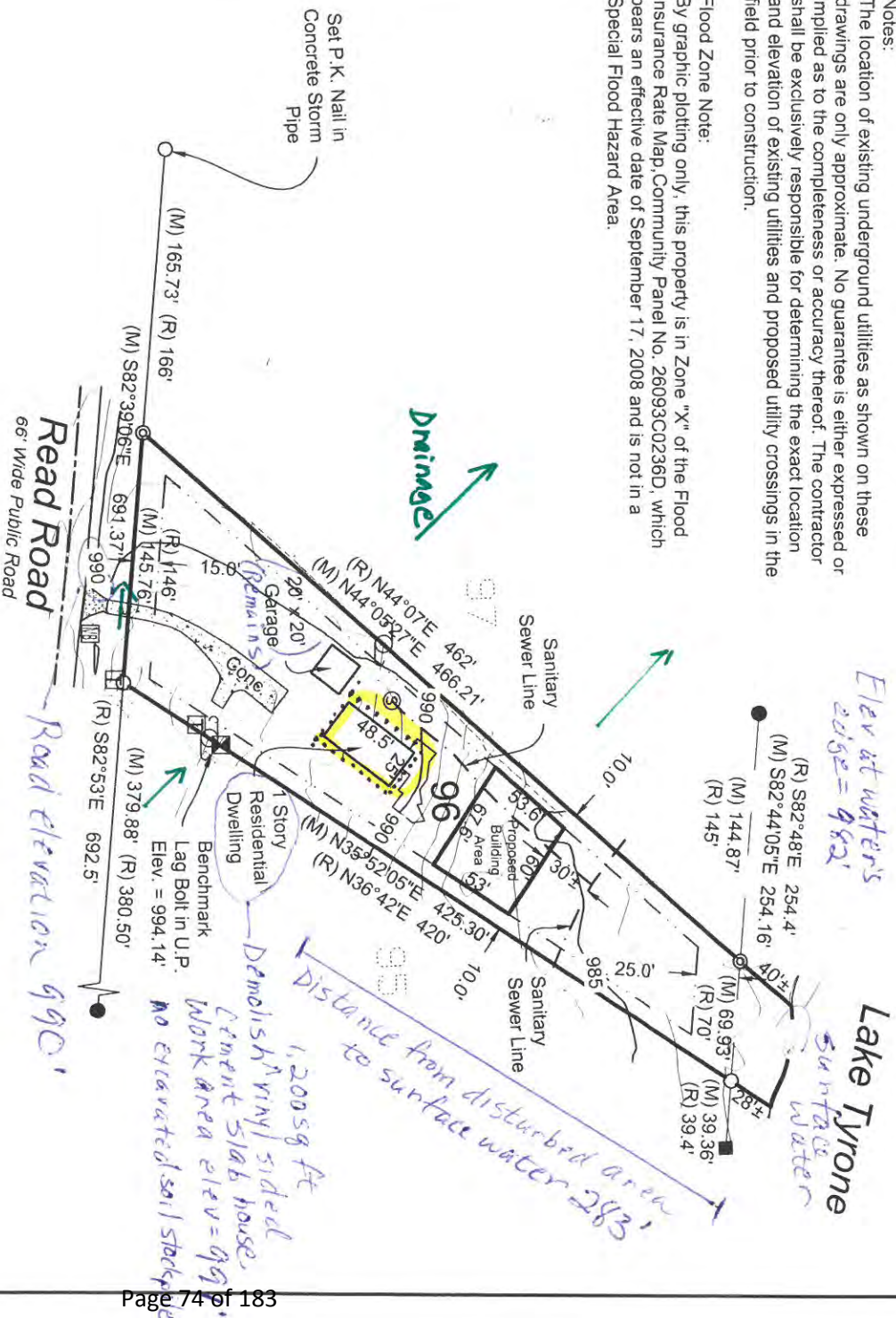
REGISTER OF DEEDS
STAMP & FILE NUMBER

Notes:

The location of existing underground utilities as shown on these drawings are only approximate. No guarantee is either expressed or implied as to the completeness or accuracy thereof. The contractor shall be exclusively responsible for determining the exact location and elevation of existing utilities and proposed utility crossings in the field prior to construction.

Flood Zone Note:

By graphic plotting only, this property is in Zone "X" of the Flood Insurance Rate Map, Community Panel No. 26093C0236D, which bears an effective date of September 17, 2008 and is not in a Special Flood Hazard Area.



Property Description:

Situated in the Township of Hartland, Livingston County, Michigan described as:
Lot 96 of the Plat of Lake Tyrone Estates No. 3, as recorded in Liber 5 of Plats, Pages 19 and 20, Livingston County Public Records.

Prepared For:

Victoria Wilczewski
11933 Read Road
Fenton, MI 48430

I, Terry R. Campbell, have surveyed the above mapped and described property and the error of closure is less than 1 in 5000.

- LEGEND**
- FOUND CAPPED IRON
 - SET CAPPED IRON
 - FOUND IRON OR PIPE
 - FOUND CONCRETE MONUMENT
 - (R) RECORD (M) MEASURED



COPY

Terry R. Campbell, P.S. No: 60806
ORIGINAL SIGNATURE IN BLUE
OFFICIAL SEAL

Bearing Basis: Lake Tyrone Estates No. 3	
DATE: September 26, 2017	PAGE: Sheet 1 of 1
SCALE: 1" = 100'	REVISED:
DWG NO: Wilczewski Lot 96	DRAWN BY: TRC
CLIENT: JOB Conners: S17114A	CHK:

Campbell
Surveying Engineering, Inc.
Professional Surveying Services
10051 E. Highland Road, Suite 29
Howell, Michigan 48843
www.campbellse.com
(989) 390-1189

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SITE PLAN

PLAT OF LAKE TYRONE ESTATES NO. 3
SECTION 3, T30N R6E, HARTLAND TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN
APR 04 2018
SITE PLAN

FOR LAND USE PERMIT
HARTLAND TOWNSHIP

RECEIVED
APR 02 2018
HARTLAND TOWNSHIP

REGISTER OF DEEDS
STAMP & FILE NUMBER



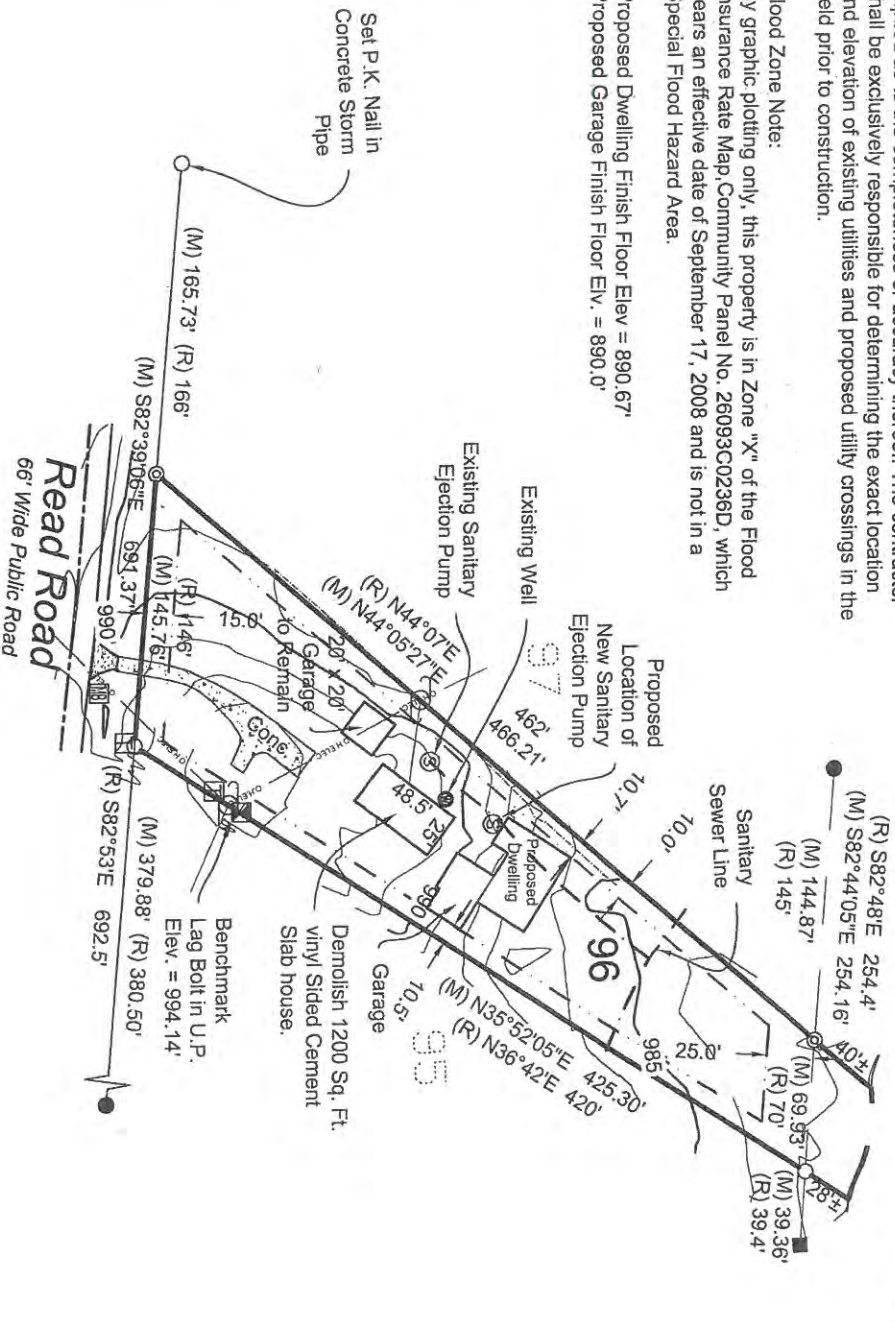
Notes:

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Flood Zone Note:

By graphic plotting only, this property is in Zone "X" of the Flood Insurance Rate Map, Community Panel No. 26093C0236D, which bears an effective date of September 17, 2008 and is not in a Special Flood Hazard Area.

Proposed Dwelling Finish Floor Elev = 890.67'
Proposed Garage Finish Floor Elev. = 890.0'



Property Description:
Situating in the Township of Hartland, Livingston County, Michigan described as:
Lot 96 of the Plat of Lake Tyrone Estates No. 3, as recorded in Liber 5 of Plats, Pages 19 and 20, Livingston County Public Records.

Prepared For:
Victoria Wilczewski
11933 Read Road
Fenton, MI 48430



I, Terry R. Campbell, have surveyed the above mapped and described property and the error of closure is less than 1 in 5000.

- LEGEND**
- ◎ FOUND CAPPED IRON
 - SET CAPPED IRON
 - FOUND IRON OR PIPE
 - FOUND CONCRETE MONUMENT
 - (R) RECORD (M) MEASURED

Bearing Basis: Lake Tyrone Estates No. 3	
DATE: March 26, 2018	PAGE: Sheet 1 of 2
SCALE: 1" = 100'	REVISED:
DWG NO: Wilczewski Lot 96	DRAWN BY: TRC
CLIENT: JOB Wilczewski: S18A30A	CHK:

Campbell
Surveying Engineering, Inc.
Professional Surveying Services
10051 E. Highland Road, Suite 29
Howell, Michigan 48843
www.campbellse.com
(989) 390-1189

OFFICIAL SEAL
STATE OF MICHIGAN
TERRY R. CAMPBELL
PROFESSIONAL SURVEYOR
No. 60806
Terry R. Campbell, P.S., No. 60806
ORIGINAL SIGNATURE IN BLUE

PLAT OF LAKE TYRONE ESTATES NO. 3
SECTION 3, T3N, R6E, HARTLAND TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN

FEB 07 2018

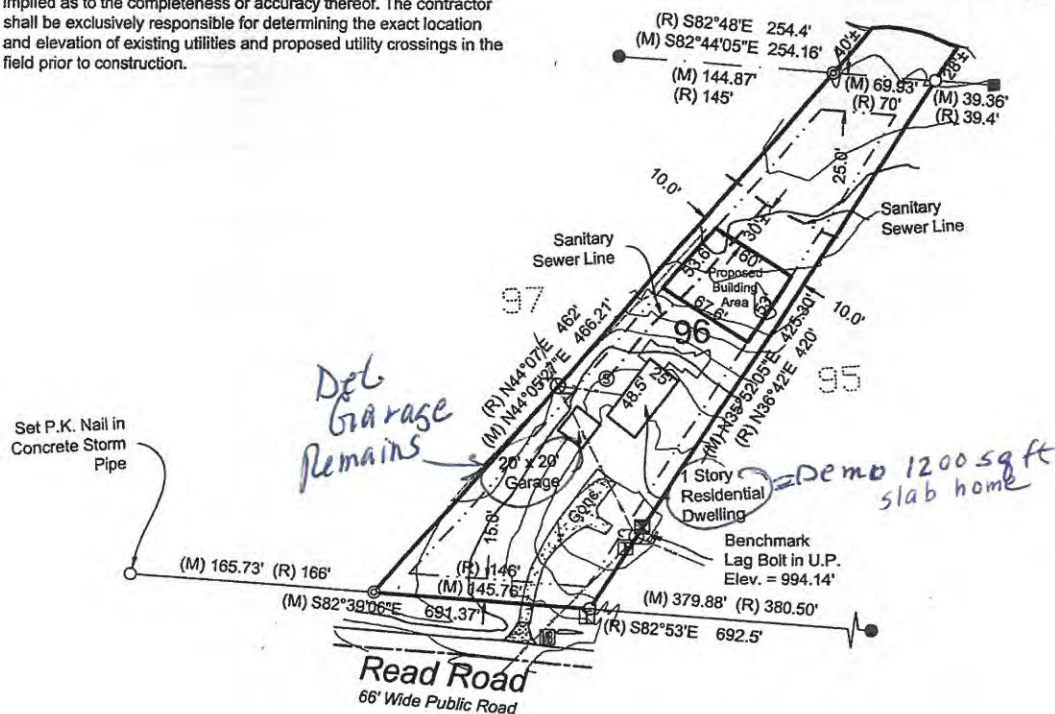
FOR LAND USE PERMIT
HARTLAND TOWNSHIP

REGISTER OF DEEDS
STAMP & FILE NUMBER



The location of existing underground utilities as shown on these drawings are only approximate. No guarantee is either expressed or implied as to the completeness or accuracy thereof. The contractor shall be exclusively responsible for determining the exact location and elevation of existing utilities and proposed utility crossings in the field prior to construction.

Lake Tyrone



Lot 96 of the Plat of Lake Tyrone Estates No. 3, as recorded in Liber 5 of Plats, Pages 19 and 20, Livingston County Public Records.

Victoria Wilczewski
11933 Read Road
Fenton, MI 48430

100' 0 100'

COPY

○ FOUND CAPPED IRON
 ○ SET CAPPED IRON
 ● FOUND IRON OR PIPE
 ■ FOUND CONCRETE MONUMENT
 (R) RECORD (M) MEASURED

OFFICIAL SEAL

CLIENT: JOB	CHK:
Conners: S17I14A	

Professional Surveying Services
10051 E. Highland Road, Suite 29 www.campbellse.com
Howell, Michigan 48843 (989) 390-1189

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FR 10



Livingston County, Michigan
Information Technology Department
GIS Division
304 E. Grand River Ave., Howell, MI 48843
517.348.3230
http://www.livgov.com/gis

60 30 0 60 120 Feet
1 inch = 94 feet

11933 Read Rd

Printed: 2/20/2018
Aerial Year: 2015

MAP INTERPRETATION NOTICE

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Livingston County, Michigan
Information Technology Department
GIS Division
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517.548.3230
http://www.livgov.com/gis

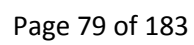
510 255 0 510 1,020 Feet
1 inch = 752 feet

11933 Read Rd

Printed: 2/20/2018
Aerial Year: 2015

MAP INTERPRETATION NOTICE
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11933 Read Road Site Plan Attachment

Timing and sequencing of earth changes:

Construction Schedule

Year 2018

Construction Sequence	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Temporary SESC Measures												
Building Demolition												
Strip and Stockpile												
Rough Grading												
Underground Utilities												
Road Installation												
Building Construction												
Permanent SESC Measures												
Final Grade												
Landscaping												

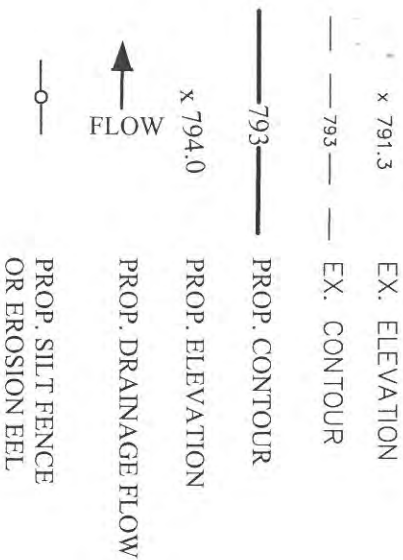
Year 2019

Construction Sequence	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Temporary SESC Measures												
Building Demolition												
Strip and Stockpile												
Rough Grading												
Underground Utilities												
Road Installation												
Building Construction												
Permanent SESC Measures												
Final Grade												
Landscaping												

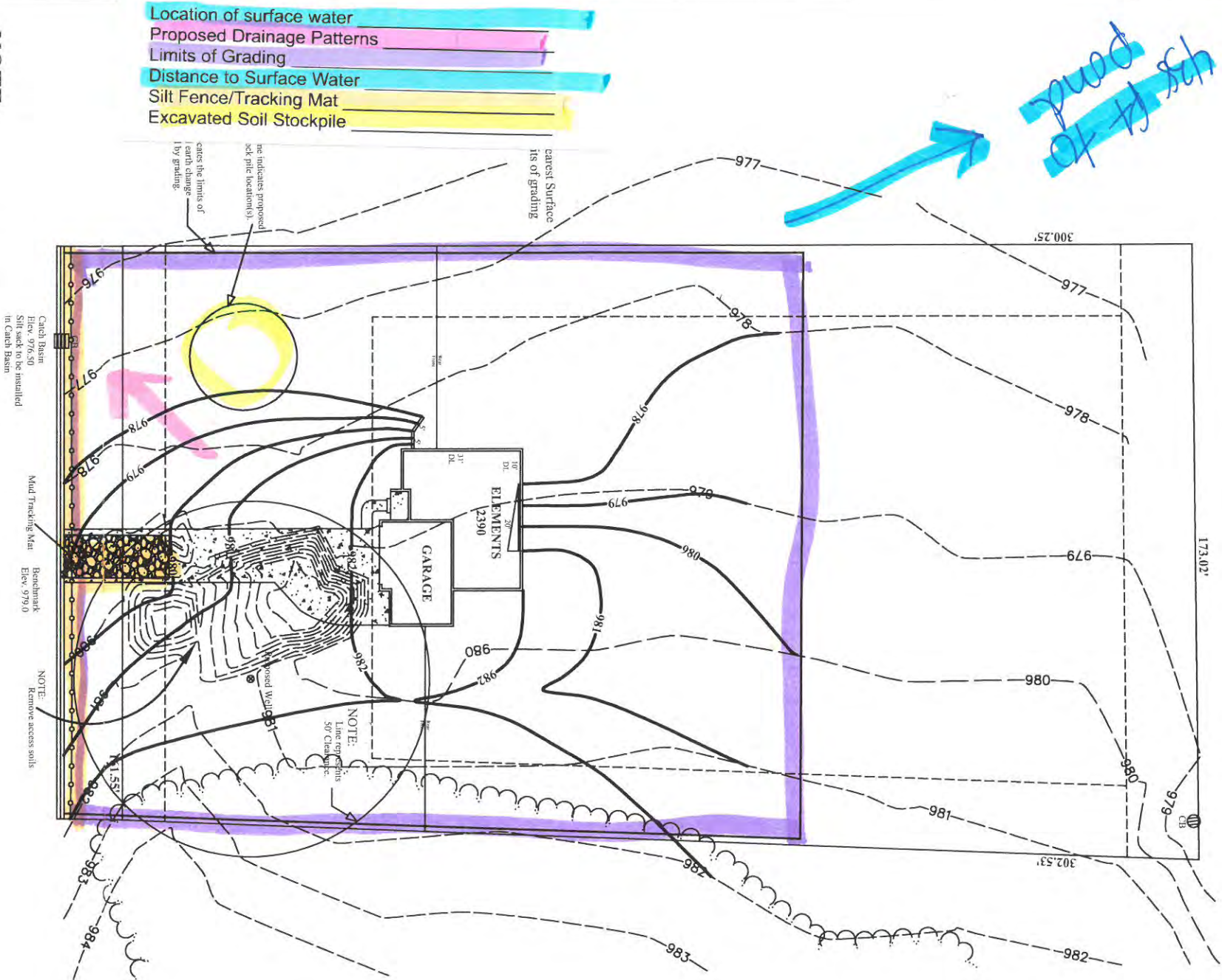
Permanent SESC measures: Seed and Straw

Maintenance plan for permanent measures: Regular lawn maintenance

165 LF - SILT FENCE
430 CY - SAND REQUIRED
0 CY - EXCESS SOILS



- NOTES:**
- Sand quantity is based on truck volume or 1.25x compacted in place volume.
 - Excess soil volume is also based on a factor of 1.25x in place volume.
 - Contractor to verify existing grades in field
 - Lots shall be graded to drain without ponding water



NOTE:
Top of wall to be set 4.0'
above benchmark.
Elev. 983.0'

Version 7.0

Scale: 1" = 40'-0"
Date: August 1, 2018
Front Yard: 14510 sqft
Rear Yard: 35215 sqft

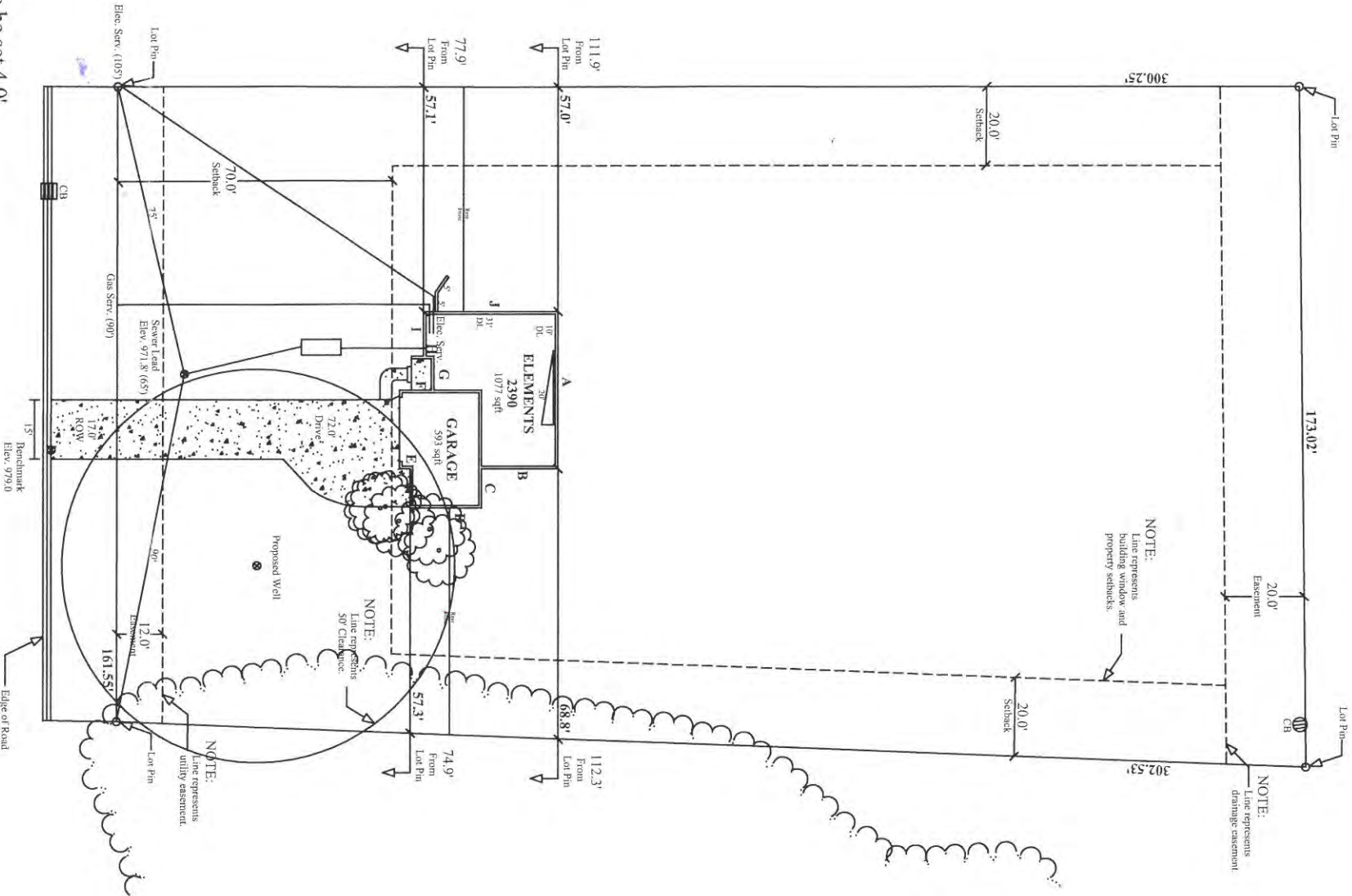
GRADING PLAN
LOT #45 DIAMOND GLEN
TBD RADIANT AVENUE
ALLEN EDWIN HOMES
2186 EAST CENTRE
PORTAGE, MI 49002

ALLEN
EDWIN
HOMES

We value what you value

HOUSE DIMENSIONS:
A = 40'-0"
B = 19'-4"
C = 10'-0"
D = 18'-0"
E = 2'-8"
F = 8'-0"
G = 8'-0"
H = 2'-0"
I = 11'-4"
J = 34'-0"

GARAGE FRONT: 20'-0"
THIRD STALL: 10'-0"
PORCH PIERS: 3'-0"
DRIVE: 1388 sqft
ROW: 252 sqft
LEAD WALK: 39 sqft



NOTE:
Top of wall to be set 4.0'
above benchmark.
Elev. 983.0'

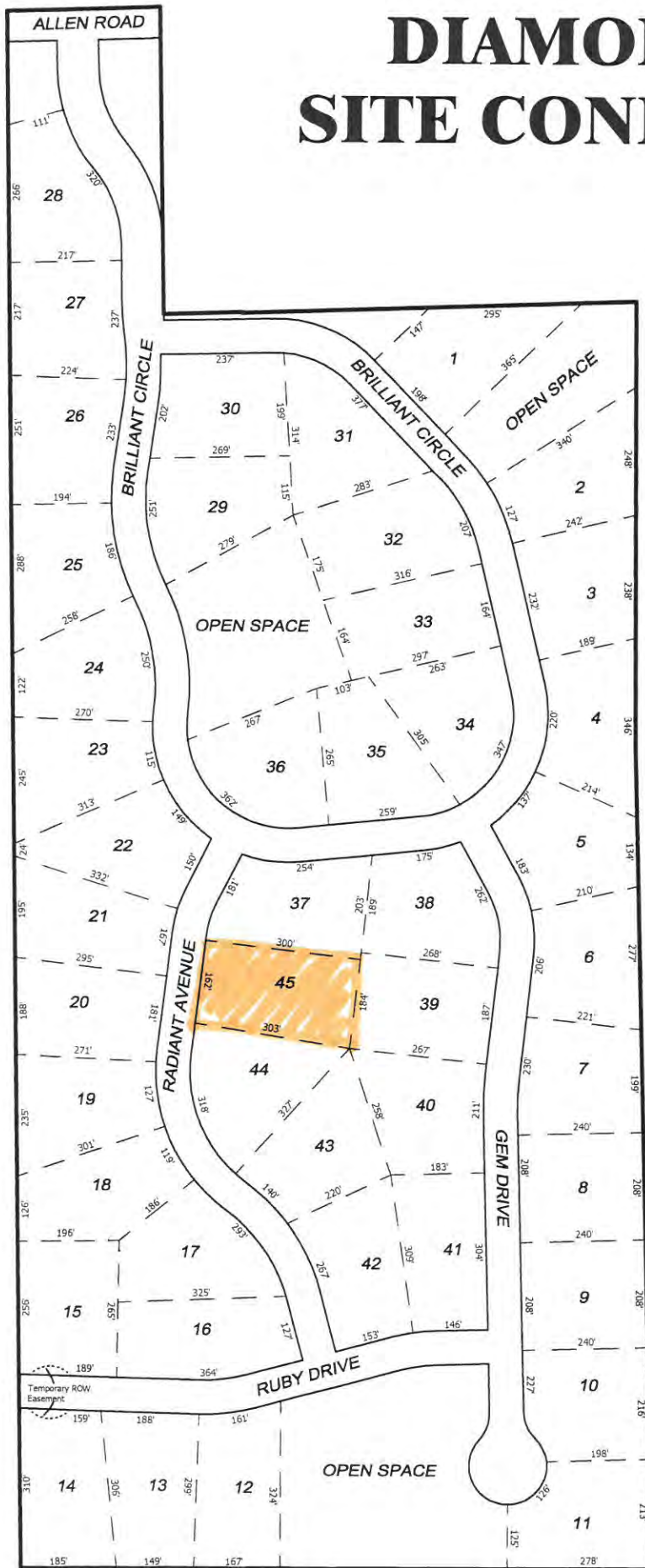
Scale: 1" = 40'-0"
Date: August 1, 2018
Front Yard: 14510 sqft
Rear Yard: 35215 sqft
Lot Coverage: 3.4%

SITE PLAN
LOT #45 DIAMOND GLEN
TBD RADIANT AVENUE
ALLEN EDWIN HOMES
2186 EAST CENTRE
PORTAGE, MI 49002



Version 7.0

DIAMOND GLEN SITE CONDOMINIUM



We value what you value.





Livingston County Drain Commissioners Office

Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended,
and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843
Phone: 517-546-0040 Website: www.livgov.com/drain E-mail: drain@livgov.com

Supplemental Site Plan/ SESC Measure Document

Site Address: 5610 Radiant

Legal Description: SEC 4 T3N R5E DIAMOND GLEN SITE CONDOMINIUM UNIT #45 LCCP # 356 5/06

Soils information: Hillsdale-Miami Loam

Permanent SESC Measures: Sod

SESC Maintenance Program: Regular Lawn Maintenance

Performed by: HomeOwner

Timing and Sequence:

- Expected start date: 8/30/18
- Expected construction finish date: Spring 2019
- Expected permanent SESC measures install date: July 2019
- Expected date of site stabilization: July 2019

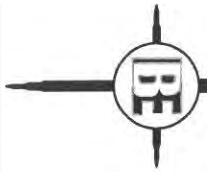
Construction Schedule

Year 2018

Construction Sequence	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Temporary SESC Measures												
Building Demolition												
Strip and Stockpile												
Rough Grading												
Underground Utilities												
Road Installation												
Building Construction												
Permanent SESC Measures												
Final Grade												
Landscaping												

Year 2019

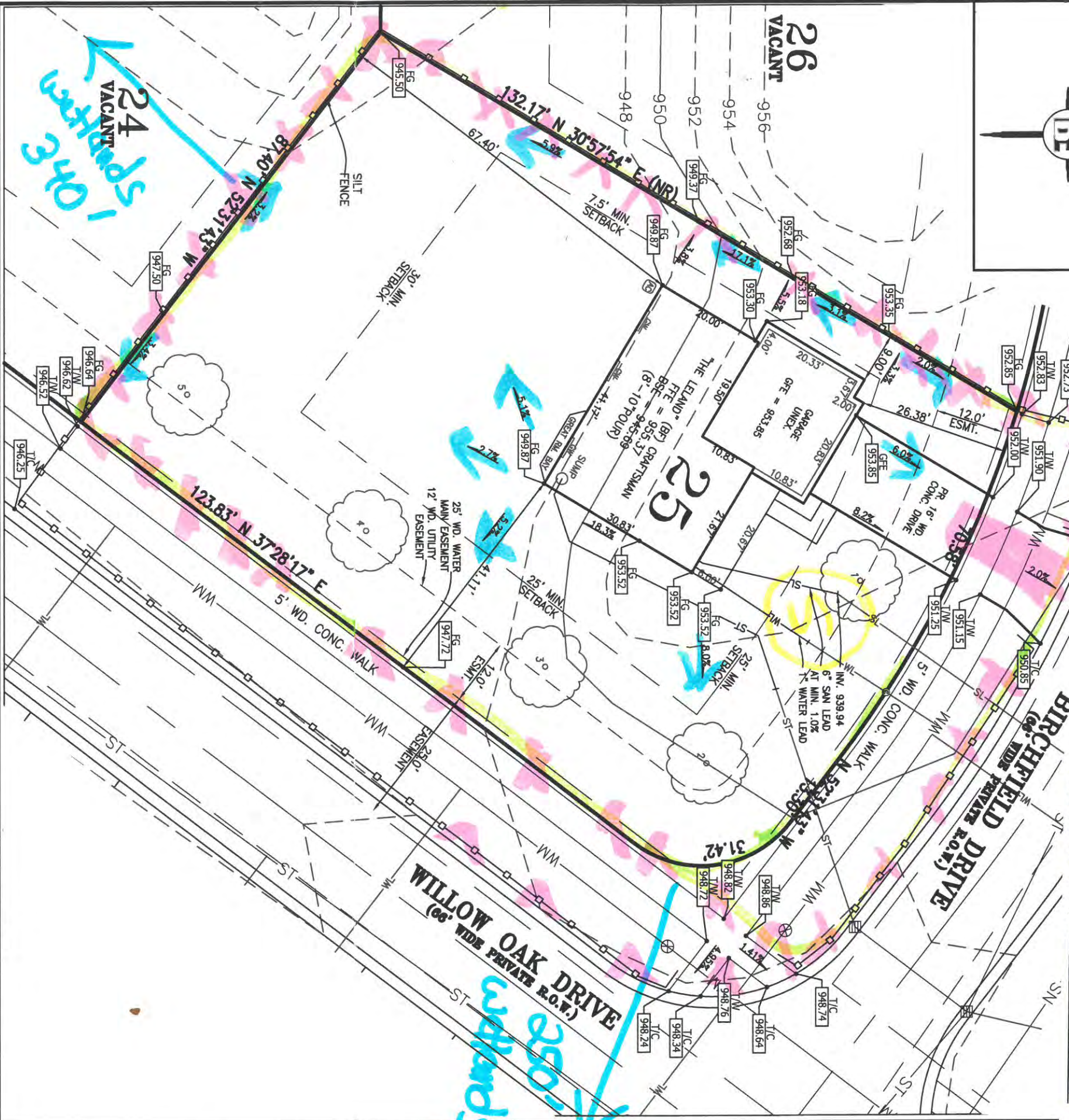
Construction Sequence	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Temporary SESC Measures												
Building Demolition												
Strip and Stockpile												
Rough Grading												
Underground Utilities												
Road Installation												
Building Construction												
Permanent SESC Measures												
Final Grade												
Landscaping												



UNIT 25 "WILLOW WOODS"

A PART OF THE SW 1/4 OF SECTION 19, AND NW 1/4 OF SECTION 30,
T1N-R0E, GREEN OAK TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

Location of surface water
Proposed Drainage Patterns
Limits of Grading
Distance to Surface Water
Silt Fence/Tracking Mat
Excavated Soil Stockpile



- ESTIMATED/PROPOSED QUANTITIES**
- 26 LF OF 6" SANITARY LEAD
 - 60 LF OF 4" SLUMP PIPE
 - 554 SFT CONC. DRIVE AREA
 - 234 SFT CONC. APRON AREA
 - 1,298 SFT CONC. SIDEWALK AT ROAD
 - 44 SFT CONC. WALK AT HOUSE (3')
 - 1,726 SFT HOUSE COVERAGE

- LEGEND**
- EXISTING SPOT ELEVATION
 - PROPOSED SPOT ELEVATION
 - STORM DRAINAGE FLOW
 - FINISHED GRADE
 - HIGH POINT
 - FIRST FLOOR ELEVATION
 - BASEMENT SLAB ELEVATION
 - GARAGE FLOOR ELEVATION
 - TOP OF WALK
 - TOP OF CURB
 - CONCRETE
 - MANHOLE
 - STORM CATCH BASIN (BEEHIVE)
 - SANITARY SEWER
 - SANITARY LEAD
 - WATER MAIN
 - WATER LEAD
 - STORM SEWER
 - TREE

BEBOSS
Engineering
Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
800.246.6735 FAX 517.548.1670

NOTES:

- CONTOURS ARE BASED ON THE PROJECT MASS GRADING TEMPLATE. SPOT ELEVATIONS FOR UTILITIES AND CURB ARE BASED ON DESIGN ELEVATIONS, NOT AS-BUILT. ELEVATIONS SHOULD BE FIELD VERIFIED.
- SANITARY LEAD INVERT SHOWN AT THE STUB IS DESIGN ELEVATION. PRIOR TO BASEMENT EXCAVATION, CONTRACTOR SHALL EXPOSE AND VERIFY SANITARY LEAD ELEVATION. A HIGHER BASEMENT FLOOR MAY BE NEEDED TO MAINTAIN GRAVITY FLOW WITHOUT HUNG PLUMBING.
- IT IS THE CLIENT'S RESPONSIBILITY TO REVIEW THIS DRAWING FOR ALL HOUSE PLAN DATA, INCLUDING (BUT NOT LIMITED TO) ELEVATION, HOUSE AND BASEMENT SIZES, CANTILEVERS, ETC., AND THE HOUSE LOCATION AND ORIENTATION ON THE PARCEL. ANY DISCREPANCIES NOT BROUGHT TO OUR ATTENTION, SHALL BE THE SOLE RESPONSIBILITY OF THE CLIENT.
- FOUNDATION DIMENSIONS SHOWN SHOULD BE USED FOR BASEMENT EXCAVATION PURPOSES ONLY. FOUNDATION OF FOUNDATIONS.
- EXCESS 1" WATER LEAD PIPING HAS BEEN COILED AND BURIED BENEATH GRADE JUST BEYOND THE 12' WIDE FRANCHISE UTILITY EASEMENT. JOINTS ON THE WATER LEAD ARE NOT PERMITTED EXTERIOR TO THE HOUSE.
- REQUIRED DECIDUOUS REPLACEMENT TREE SPECIES SHALL BE DETERMINED BY OWNER AND SHALL BE IN ACCORDANCE WITH ALL GREEN OAK TWP ORDINANCES.
- ELEVATIONS SHOWN REPRESENTS THE GARAGE FLOOR ELEVATION WHERE GARAGE SLAB MEETS DRIVEWAY.
- ELEVATIONS SHOWN INCORPORATES A 2" UP AT THE INTERFACE BETWEEN THE GARAGE AND DRIVEWAY.
- SOIL EROSION SEQUENCE OF OPERATIONS:
 - PERSON(S) RESPONSIBLE FOR SOIL EROSION CONTROL INSTALLATION AND MAINTENANCE SHALL BE LOMBARDO COMPANIES (586-697-3223).
 - ALL CATCH BASINS/INLETS SHALL BE PROTECTED WITH EITHER A PEA STONE INLET FILTER OR SEDIMENT SACK.
 - MAINTAIN SOIL EROSION CONTROL MEASURES AT ALL TIMES UNTIL FINAL LANDSCAPING & PAVING ARE COMPLETED AND ACCEPTED BY THE TWP.
 - THE SOIL EROSION CONTROLS WILL BE MAINTAINED WEEKLY AND AFTER EACH STORM EVENT.
- ADJACENT ROAD SHALL BE KEPT CLEAN AT ALL TIMES.

UNIT 25 PLOT PLAN

CLIENT

LOMBARDO HOMES
13001 23 MILE ROAD, SUITE 200
SHELBY TOWNSHIP, MI 48315
PHONE: 586-697-3223

JOB NO. 18-006-4 SHEET 1 OF 1
DATE: 04-19-18 REVISED:
DRAWN BY: ST CHECKED: BL SCALE: 1"=20'



3 WORKING DAYS
BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171
CALL FIRST
FOR THE LOCATION OF UNDERGROUND UTILITIES



TREE LIST

1-2: ZELKOVA SERRATA VILLAGE GREEN
3-5: GLEDITSIA TRIACANTHOS VAR. INERMIS
NOTE: 4 REPLACEMENT TREES ARE REQ.
(1 IN FRONT YD & 3 IN REAR YD)
*ALL TREES TO BE 2.5" CALIPER MIN.

UNIT AREA = 13,372 SQ FT

MINIMUM SETBACKS
FRONT = 25 FEET
REAR = 30 FEET
SIDE = 7.5 FEET MIN. (EACH)

PROPOSED HOUSE - UNIT 25
FINISH FLOOR = **955.37** (+1.85')
11-7/8" FLOOR JOISTS
TOP/FOUNDATION = **954.19** (+0.67')
FINISH GRADE = **953.52** (0+00)
8'-10" BSMT WALL
TOP/BASEMENT SLAB = **945.69** (-7.83')
TOP/FOOTING = **945.36** (-8.16')

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES AND PROPOSED UTILITY CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY CONFLICTS ARE APPARENT OR IF THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLANS.



16-19-300-002

16-19-301-101

16-19-301-102

Livingston County GIS, Livingston County IT&IS, SEWEE, Livingston County, MI 48043

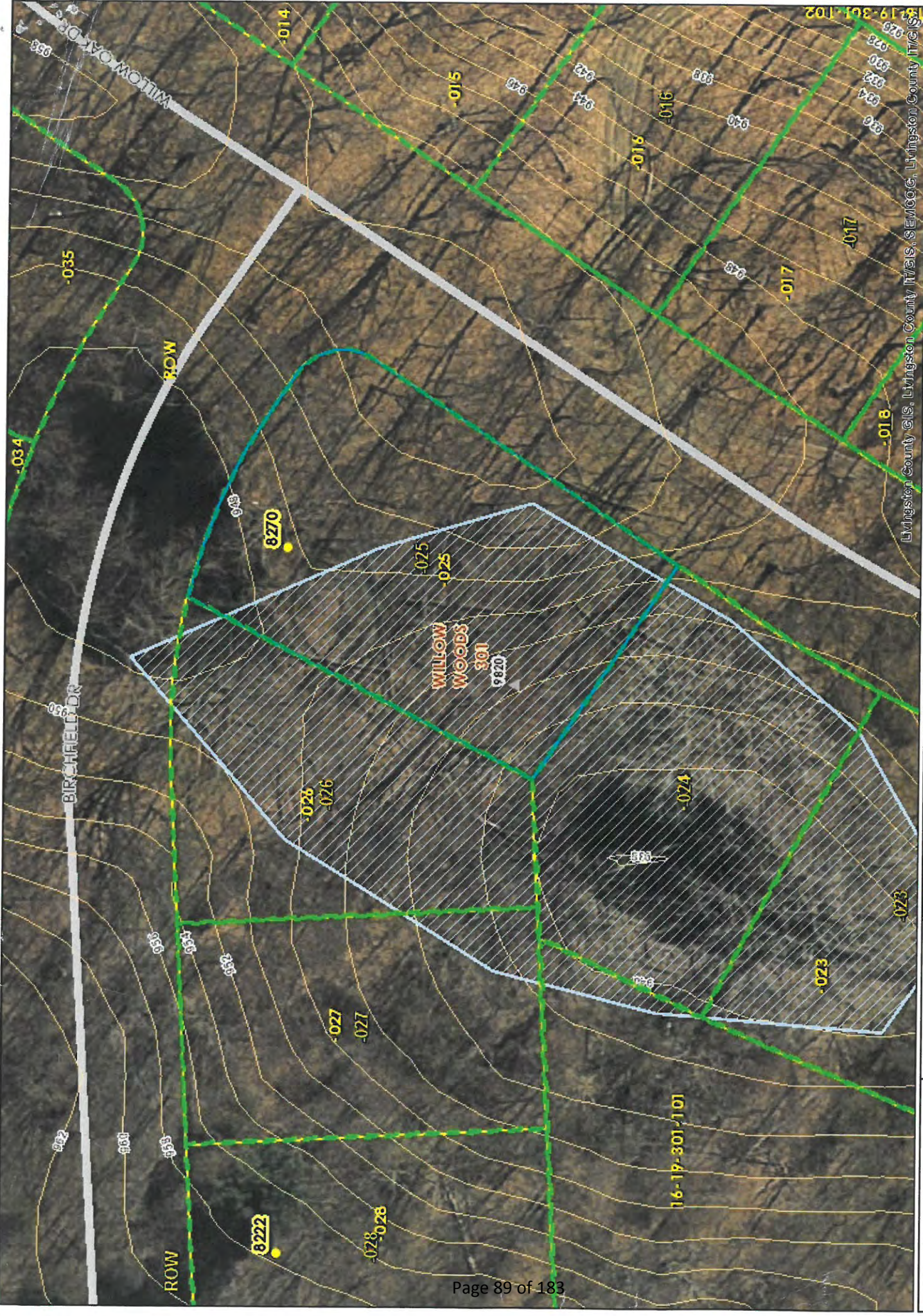
Livingston County, Michigan
Information Technology Department
GIS DIVISION
304 E. Grand River Ave., Howell, MI 48843
517.548.3230
<http://www.livgov.com/gis>

Livingston County

Printed: 8/2/2019
Aerial Year: 2015

MAP INTERPRETATION NOTICE
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50 25 0 50 100 Feet
1 inch = 83 feet



MAP INTERPRETATION NOTICE
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Printed: 7/11/2018
 Aerial Year: 2015

25 12.5 0 25 50 Feet
 1 inch = 42 feet

8270 Birchfield

Livingston County, Michigan
 Information Technology Department
 GIS Division
 304 E. Grand River Ave., Howell, MI 48843
 517.548.3230
<http://www.livgov.com/gis>





Livingston County Drain Commissioners Office

Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended,
and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843
Phone: 517-546-0040 Website: www.livgov.com/drain E-mail: drain@livgov.com

Supplemental Site Plan/ SESC Measure Document

Site Address: 8270 Birchfield Drive

Legal Description: N/A

Soils information: Silty Clay

Permanent SESC Measures: Sod

SESC Maintenance Program: Regular Lawn Maintenance

Performed by: Homeowner

Timing and Sequence:

- Expected start date: 9/18/19
- Expected construction finish date: April 2019
- Expected permanent SESC measures install date: May 2019
- Expected date of site stabilization: May 2019

Construction Schedule

Year

Construction Sequence	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Temporary SESC Measures												
Building Demolition												
Strip and Stockpile												
Rough Grading												
Underground Utilities												
Road Installation												
Building Construction												
Permanent SESC Measures												
Final Grade												
Landscaping												

Year

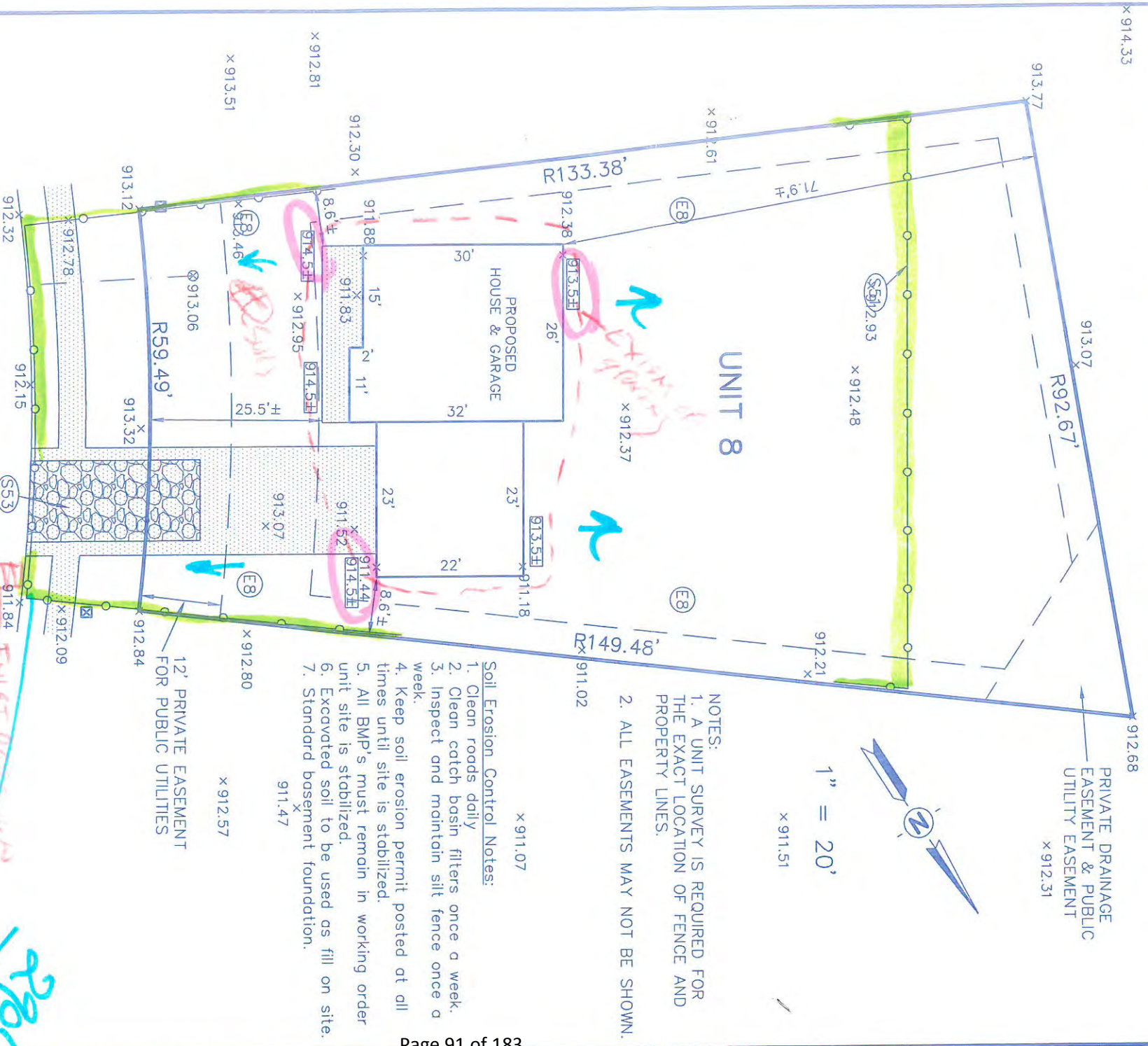
Construction Sequence	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Temporary SESC Measures												
Building Demolition												
Strip and Stockpile												
Rough Grading												
Underground Utilities												
Road Installation												
Building Construction												
Permanent SESC Measures												
Final Grade												
Landscaping												

PLOT PLAN

For:
CVE Homes
13937 Webster Road, Suite A
Bath, Michigan 48808

Survey Address:
Vacant- Summerbrooke Circle
Fowlerville, MI 48836
ID: 4705-01-401-008

Legal Description (as provided): Unit 8, Summerbrook Condominium, Handy Township, Livingston County, Michigan, as recorded in Livingston County Records.



- NOTES:
1. A UNIT SURVEY IS REQUIRED FOR THE EXACT LOCATION OF FENCE AND PROPERTY LINES.
 2. ALL EASEMENTS MAY NOT BE SHOWN.

Soil Erosion Control Notes:

1. Clean roads daily
2. Clean catch basin filters once a week.
3. Inspect and maintain silt fence once a week.
4. Keep soil erosion permit posted at all times until site is stabilized.
5. All BMP's must remain in working order until site is stabilized.
6. Excavated soil to be used as fill on site.
7. Standard basement foundation.

This plan was made at the direction of the parties hereon and intended solely for their immediate use and no survey has been made and no property lines were monumented, all easements recorded or unrecorded may not be shown, unless specifically noted, and no dimensions are intended for use in establishing property lines.

- R = Recorded Distance x = Existing Elevation
- = Silt Fence D = Surface Drainage
- = Deed Line [800.00] = Proposed Finish Grade
- = Distance Not to Scale
- [] = Deck, Porch, Sidewalk, & Patio Areas



KEBS, INC. KYES ENGINEERING
BRYAN LAND SURVEYS

2116 HASLETT ROAD, HASLETT, MI 48840
PH. 517-339-1014 FAX. 517-339-8047
13432 PRESTON DRIVE, MARSHALL, MI 49068
PH. 269-781-9800 FAX. 269-781-9805

ERICK R. FRIESTROM
PROFESSIONAL SURVEYOR

DATE
NO. 53497

DRAWN BY	SLH	SECTION 1, T3N, R3E
FIELD WORK BY	---	JOB NUMBER:
SHEET 1 OF 2		93487.HSE

SOIL EROSION CONTROL PLAN

	JANUARY 2018	FEBRUARY	MARCH	APRIL	MAY	JUNE	JULY	AUGUST	SEPTEMBER	OCTOBER	NOVEMBER	DECEMBER
TEMP SEC MEASURES						X	X	X	X	X	X	X
EXCAVATION						X	X	X	X	X	X	X
HOME CONSTRUCTION						X	X	X	X	X	X	X
TOPSOIL SPREADING						X	X	X	X	X	X	X
SEEDING & MULCHING						X	X	X	X	X	X	X
FINAL INSPECTION						X	X	X	X	X	X	X

(SCHEDULE IS SUBJECT TO CHANGE)

APPROX. EXCAVATION= 267 CUBIC YDS.

LIMITS OF DISTRUPTION= 1' INSIDE OF LOT LINES ON ENTIRE LOT
TEMPORARY EROSION CONTROL TO BE MAINTAINED BY BUILDER.
PERMENANT EROSION CONTROL TO BE MAINTAINED BY PROPERTY OWNER

NOTE: CONSTRUCTION DRIVE WILL BE PROVIDED WITH CRUSHED STONE OR
CRUSHED CONCRETE SIZE 1"-2"

NOTE: NO WETLANDS WERE LOCATED FOR THIS PLAN.

SOIL TYPES:

Pr - PARKHILL LOAM, 0-1% SLOPES
MeA - METAMORA-CAPAC SANDY LOAMS, 0-4% SLOPES
MaB - MARLETTE LOAM, 2-6% SLOPES
(ACCORDING TO WEBSOILSURVEY.NRCS.USDA.GOV)

NOTE: ALL CATCH BASINS TO BE EQUIPPED WITH FILTER CLOTH.

NOTE: ANY STOCKPILING OF SOIL SHALL BE SURROUNDED
BY SILT FENCE. SEEDED IF LEFT OVER 6 MONTHS.

STORM WATER FROM THIS SITE WILL NOT ADVERSELY
IMPACT ADJACENT PROPERTIES.



MICHIGAN DEPARTMENT OF MANAGEMENT AND BUDGET

S-E-S-C KEYING SYSTEM

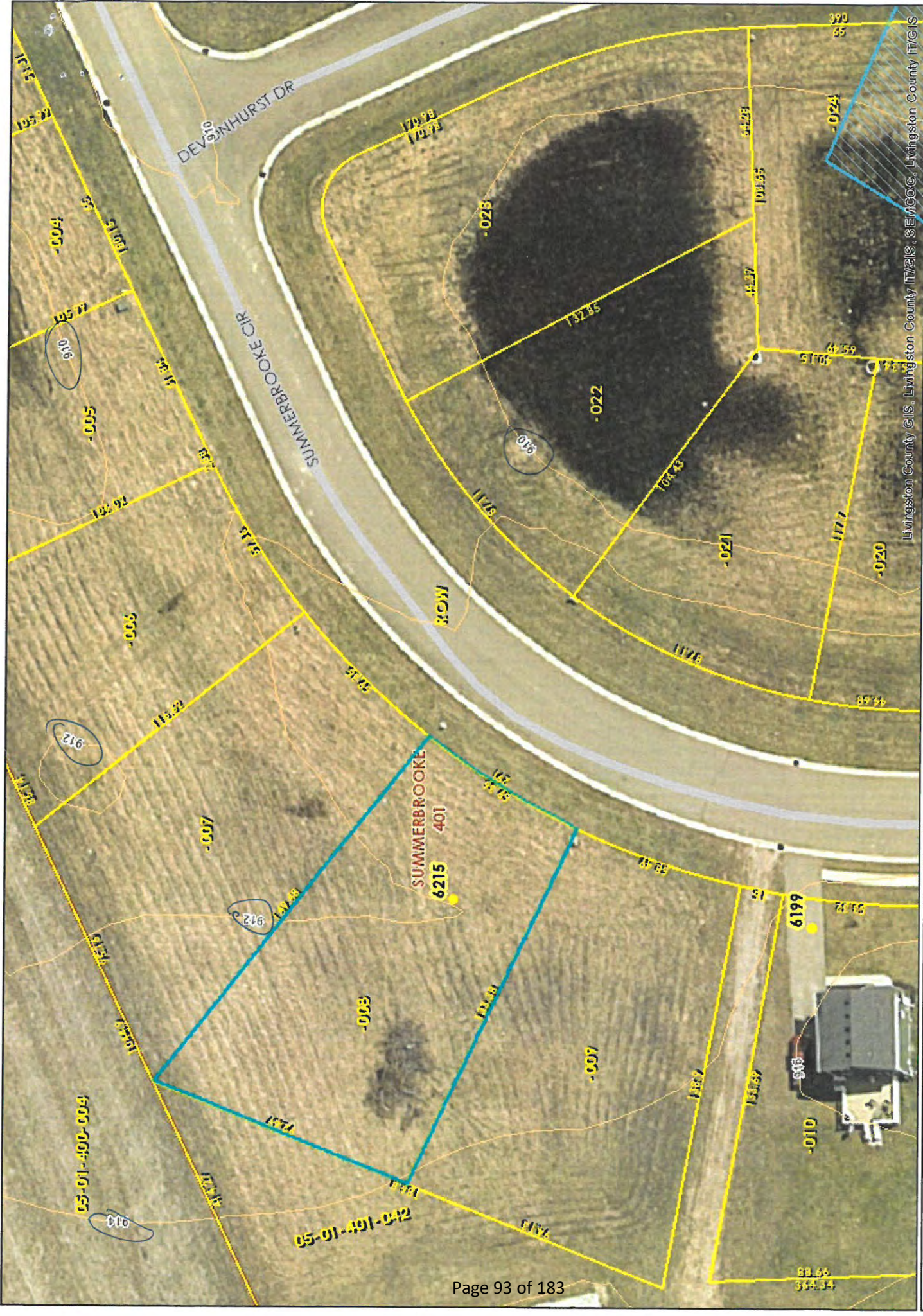
KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
EROSION CONTROLS			
E8	PERMANENT SEEDING		Stabilization method utilized on sites where earth change has been completed (final grading attained).
S51	SILT FENCE		Use adjacent to critical areas, to prevent sediment laden sheet flow from entering these areas.
S53	STABILIZED CONSTRUCTION ACCESS		Used at every point where construction traffic enters or leaves a construction site.
S58	INLET PROTECTION FABRIC DROP		Use at stormwater inlets, especially at construction sites.



KEBS, INC. KYES ENGINEERING
BRYAN LAND SURVEYS

2116 HASLETT ROAD, HASLETT, MI 48840
PH. 517-339-1014, FAX. 517-339-8047
13432 PRESTON DRIVE, MARSHALL, MI 49068
PH. 269-781-9800, FAX. 269-781-9805

DRAWN BY SLH SECTION 1, T3N, R3E
FIELD WORK BY --- JOB NUMBER:
SHEET 2 OF 2 93487.HSE



Livingston County, Michigan
 Information Technology Department
 GIS Division
 301 E. Grand River Ave., Howell, MI 48843
 517.546.2220
<http://www.livgov.com/gis>

Printed: 7/13/2018
 Aerial Year: 2015

Map Interpretation Notice
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1 inch = 42 feet
 25 12.5 0 25 50 Feet

6215 Summerbrooke

Livingston County GIS, Livingston County ITGIS, SEMCOG, Livingston County ITGIS



Livingston County Drain Commissioners Office

Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended,
and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843
Phone: 517-546-0040 Website: www.livgov.com/drain E-mail: drain@livgov.com

Supplemental Site Plan/ SESC Measure Document

Site Address: 6215 Summerbrooke Circle

Legal Description: N/A

Soils information: N/A

Permanent SESC Measures: Lawn Seed and Straw (wait for stabilization)

SESC Maintenance Program: Regular Lawn Maintenance

Performed by: Homeowner

Timing and Sequence: N/A

- Expected start date:
- Expected construction finish date:
- Expected permanent SESC measures install date:
- Expected date of site stabilization:

Construction Schedule

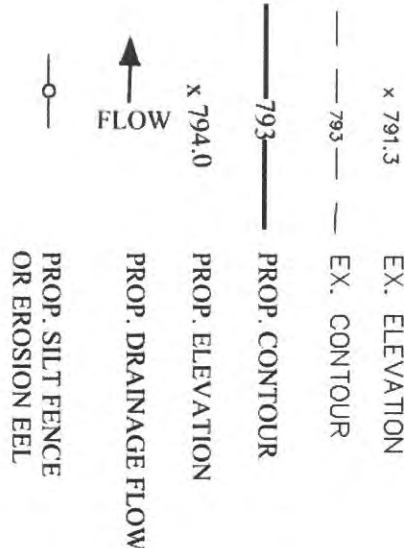
Year

Construction Sequence	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Temporary SESC Measures												
Building Demolition												
Strip and Stockpile												
Rough Grading												
Underground Utilities												
Road Installation												
Building Construction												
Permanent SESC Measures												
Final Grade												
Landscaping												

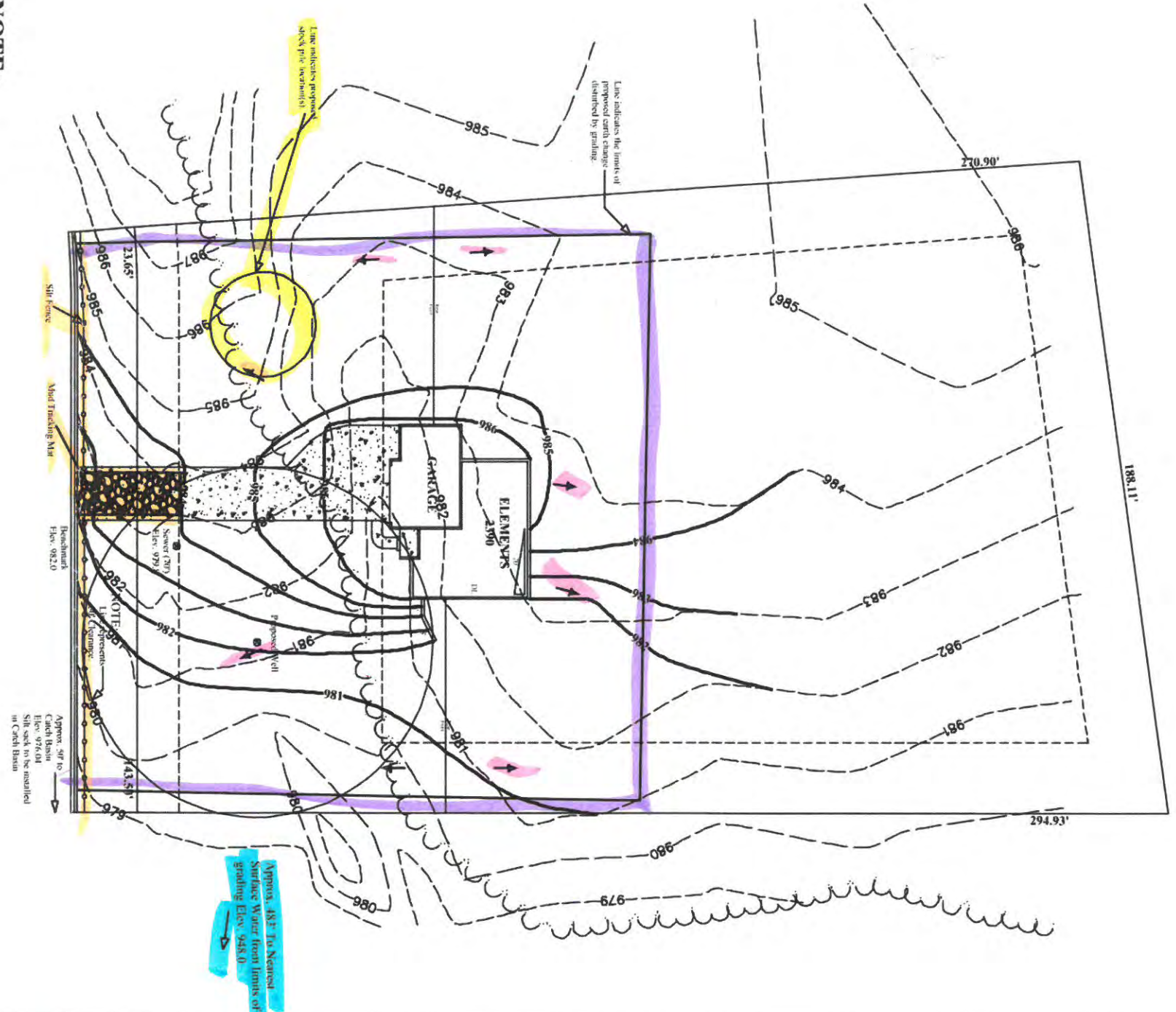
Year

Construction Sequence	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Temporary SESC Measures												
Building Demolition												
Strip and Stockpile												
Rough Grading												
Underground Utilities												
Road Installation												
Building Construction												
Permanent SESC Measures												
Final Grade												
Landscaping												

170 LF - SILT FENCE
350 CY - SAND REQUIRED
200 CY - FILL REQUIRED



- NOTES:
- Sand quantity is based on truck volume or 1.25x compacted in place volume.
 - Excess soil volume is also based on a factor of 1.25x in place volume.
 - Contractor to verify existing grades in field
 - Lots shall be graded to drain without ponding water



NOTE:
Top of wall to be set 4.5'
above benchmark.
Elev. 986.5'

Scale: 1" = 40'-0"
Date: August 8, 2018
Front Yard: 15280 sqft
Rear Yard: 34215 sqft

GRADING PLAN
LOT #20 DIAMOND GLEN
5607 RADIANT AVENUE
ALLEN EDWIN HOMES
2186 EAST CENTRE
PORTAGE, MI 49002

Version 7.0

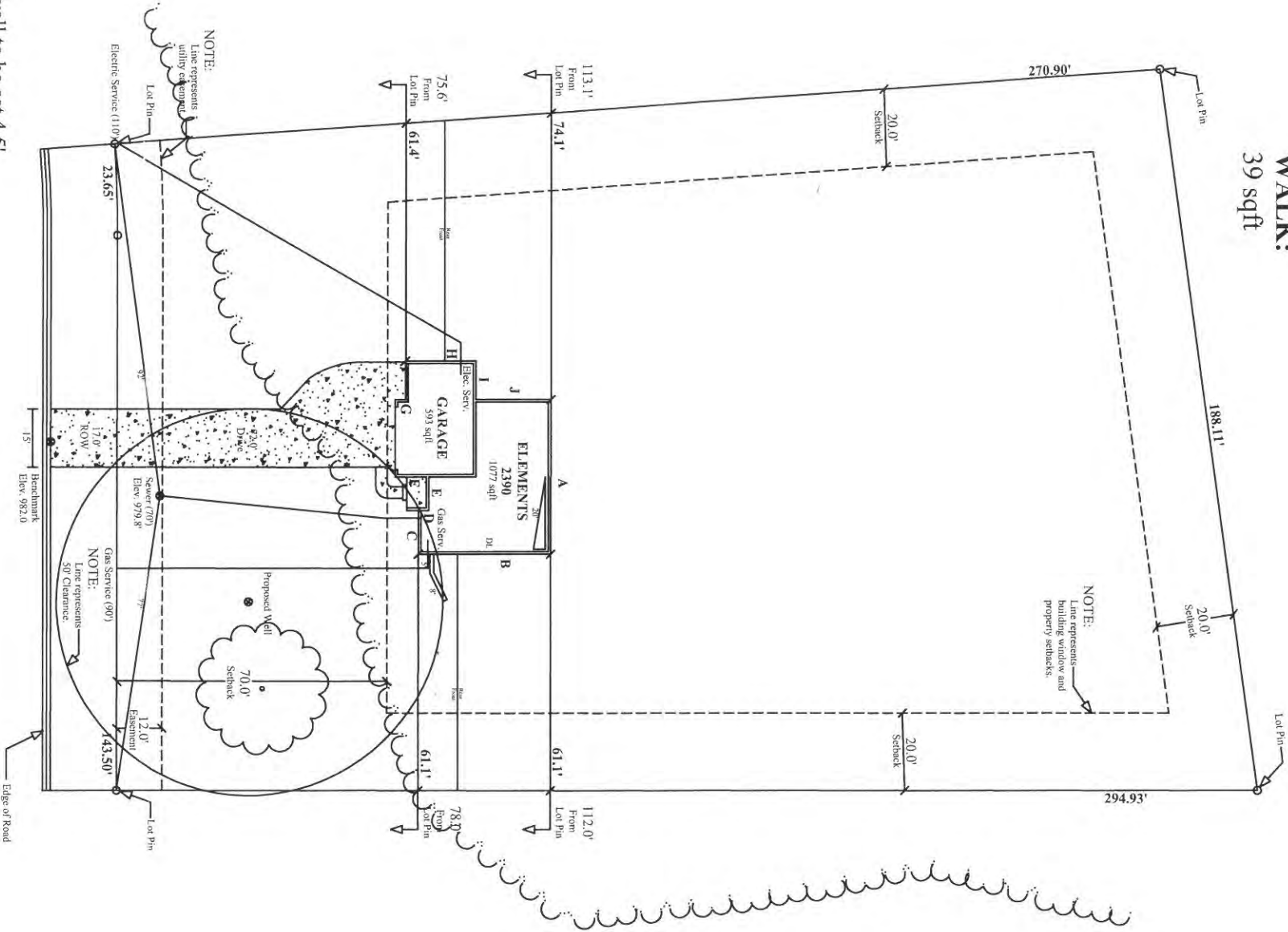
ALLEN
EDWIN
HOMES

We value what you value

**HOUSE
DIMENSIONS:**

- A = 40'-0"
- B = 34'-0"
- C = 11'-4"
- D = 2'-0"
- E = 8'-0"
- F = 8'-0"
- G = 2'-8"
- H = 18'-0"
- I = 10'-0"
- J = 19'-4"

**GARAGE
FRONT:
20'-0"
THIRD
STALL:
10'-0"
PORCH
PIERS:
3'-0"
DRIVE:
1387 sqft
ROW:
259 sqft
LEAD
WALK:
39 sqft**



NOTE:
Top of wall to be set 4.5'
above benchmark.
Elev. 986.5'

Scale: 1" = 40'-0"
Date: July 17, 2018
Front Yard: 15280 sqft
Rear Yard: 34215 sqft
Lot Coverage: 3.4%

Version 7.0

SITE PLAN
LOT #20 DIAMOND GLEN
TBD RADIANT AVENUE

ALLEN EDWIN HOMES
2186 EAST CENTRE
PORTAGE, MI 49002

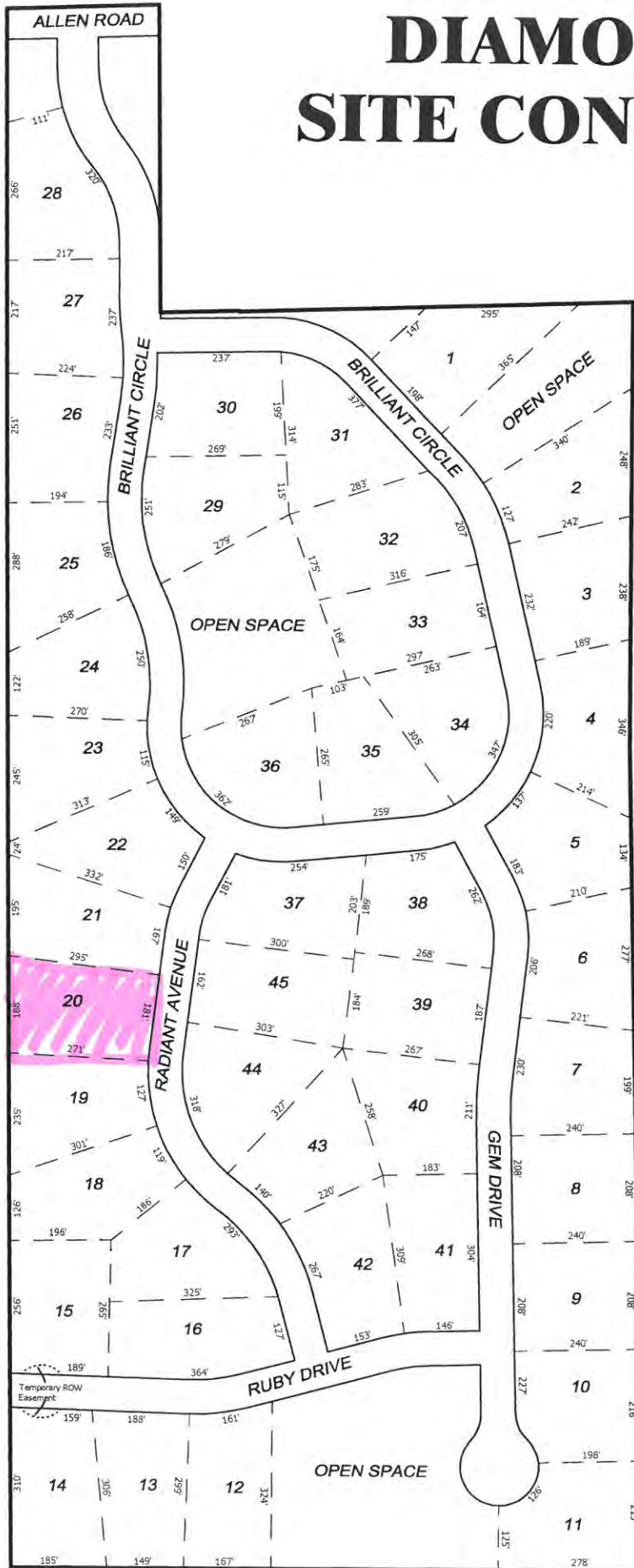
ALLEN

EDWIN

HOMES

We value what you value

DIAMOND GLEN SITE CONDOMINIUM



We value what you value.



MAP INTERPRETATION NOTICE
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Printed: 8/9/2018
 Aerial Year: 2015



5607 Radiant Ave.

Livingston County, Michigan
 Information Technology Department
 GIS Division
 304 E. Grand River Ave., Howell, MI 48843
 517.548.3230
<http://www.livgov.com/gis>





Livingston County Drain Commissioners Office

Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended,
and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843
Phone: 517-546-0040 Website: www.livgov.com/drain E-mail: drain@livgov.com

Supplemental Site Plan/ SESC Measure Document

Site Address: 5607 Radiant

Legal Description: SEC 4 T3N R5E DIAMOND GLEN SITE CONDOMINIUM UNIT #20 LCCP # 356 5/06

Soils information: Hillsdale-Miami Loam

Permanent SESC Measures: Sod

SESC Maintenance Program: Regular Lawn Maintenance

Performed by: Homeowner

Timing and Sequence: N/A

- Expected start date: 9/6/2018
- Expected construction finish date: May 2019
- Expected permanent SESC measures install date: Sod (June 2019)
- Expected date of site stabilization: June 2019

Construction Schedule

Year 2018

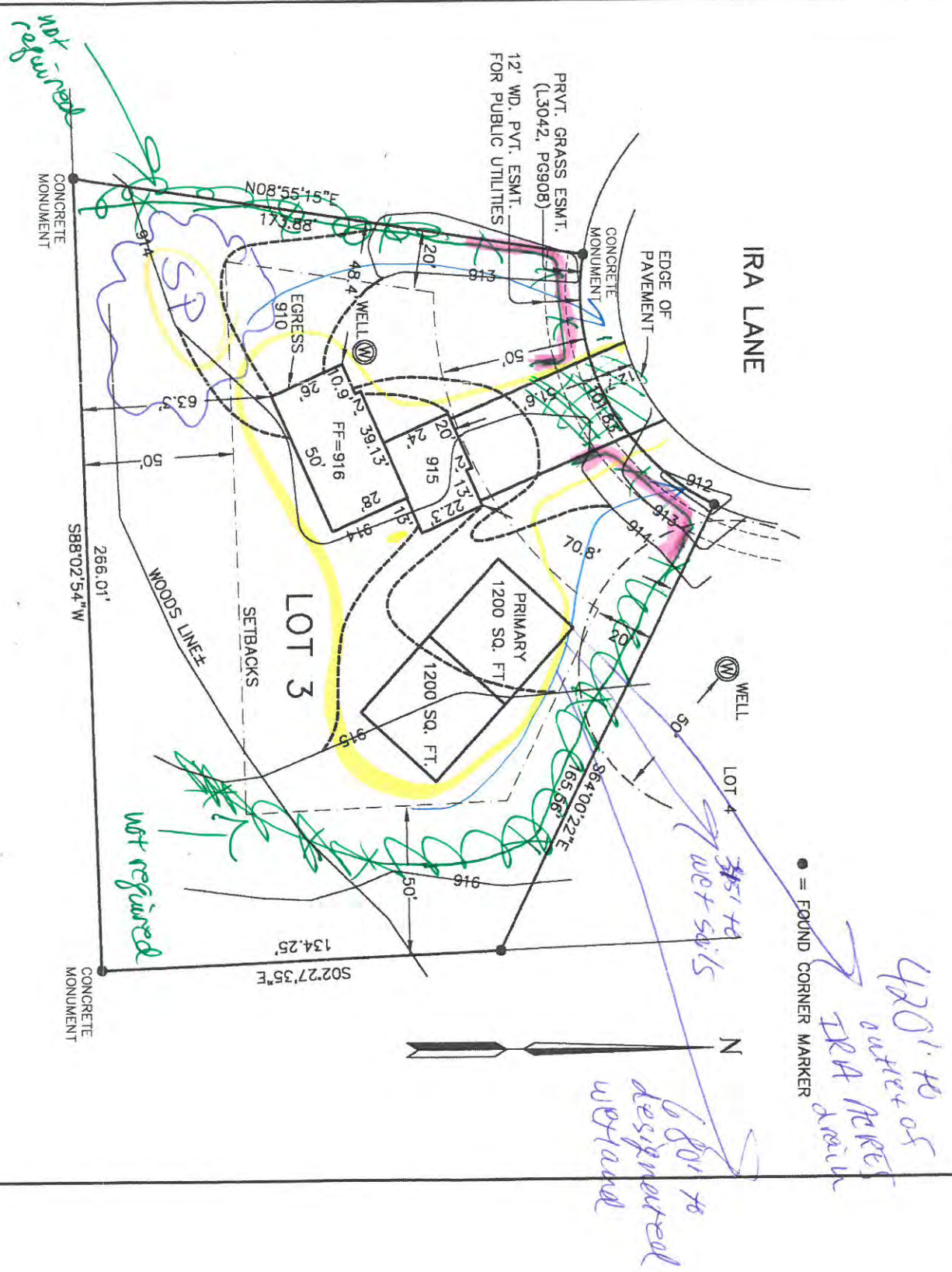
Construction Sequence	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Temporary SESC Measures												
Building Demolition												
Strip and Stockpile												
Rough Grading												
Underground Utilities												
Road Installation												
Building Construction												
Permanent SESC Measures												
Final Grade												
Landscaping												

Year 2019

Construction Sequence	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Temporary SESC Measures												
Building Demolition												
Strip and Stockpile												
Rough Grading												
Underground Utilities												
Road Installation												
Building Construction												
Permanent SESC Measures												
Final Grade												
Landscaping												

Kevin Lee
617-304-6138

SITE PLAN
PARCEL 4702-26-301-003



LEGAL DESCRIPTION:

LOT 3 OF "IRA ACRES", ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 38 OF PLATS ON PAGE 38-40 IN THE OFFICE OF THE REGISTER OF DEEDS FOR LIVINGSTON COUNTY, MICHIGAN

- Location of surface water Shown
- Proposed Drainage Patterns See plan
- Limits of Grading See plan
- Distance to Surface Water See plan
- Silt Fence/Tracking Mat See plan
- Excavated Soil Stockpile See plan

CLIENT: CARL VAGNETTI		SCALE: 1" = 50'
SECTION: 26	TOWN: 4 NORTH	RANGE: 4 EAST
COHOCTAH TOWNSHIP LIVINGSTON COUNTY, MICHIGAN		
JACK K. SMITH PROFESSIONAL SURVEYOR No. 35999		
DATE: 10-15-2018	CREW: JKS	
BOOK NO. 218 PG 05	COMP: JKS	
	DRAWN: JKS	
SHEET 1 OF 1	REV: 10-17-2018	
CARLOCK-SMITH PROFESSIONAL SURVEYORS 516 EAST GRAND RIVER HOWELL, MICHIGAN 48843 (517) 546 - 3340 FAX: (517) 546 - 2941		



Livingston County Drain Commissioners Office

Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended,
and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843
Phone: 517-546-0040 Website: www.livgov.com/drain E-mail: drain@livgov.com

Supplemental Site Plan/ SESC Measure Document

Site Address: 7136 Ira Lane

Legal Description: IRA ACRES, PART OF THE E 1/2 OF THE SW 1/4 OF SEC 26; T4N-R4E, COHOCTAH TWP, LIVINGSTON CTY, IRA ACRES SUB LOT NUMBER 3; CONT 1.02 ACRES; Split on 02/1999 from 4702-26-300-023. Split on 04/27/2001 from 4702-26-300-035. STATE APPROVAL OF PLAT; Split on 05/05/2002 from 4702-26-300-047.

Soils information: Sandy Loam

Permanent SESC Measures: Lawn Seed & Mulch (wait for stabilization)

SESC Maintenance Program: Regular Lawn Maintenance **Performed by:** Homeowner

Timing and Sequence:

- Expected start date: December 2018
- Expected construction finish date: August 2019
- Expected permanent SESC measures install date: August 2019
- Expected date of site stabilization: October 2019

Construction Schedule

Year 2018

Construction Sequence	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Temporary SESC Measures												
Building Demolition												
Strip and Stockpile												
Rough Grading												
Underground Utilities												
Road Installation												
Building Construction												
Permanent SESC Measures												
Final Grade												
Landscaping												

Year 2019

Construction Sequence	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Temporary SESC Measures												
Building Demolition												
Strip and Stockpile												
Rough Grading												
Underground Utilities												
Road Installation												
Building Construction												
Permanent SESC Measures												
Final Grade												
Landscaping												

— 793 —	EX. ELEVATION
x 791.3	

—793— PROP. CONTOUR

PROP. ELEVATION

↑
LOW

PROP. SILT FENCE
OR EROSION EEL



Top of wall to be set 9.0'
above benchmark.
Elev. 1015.0'

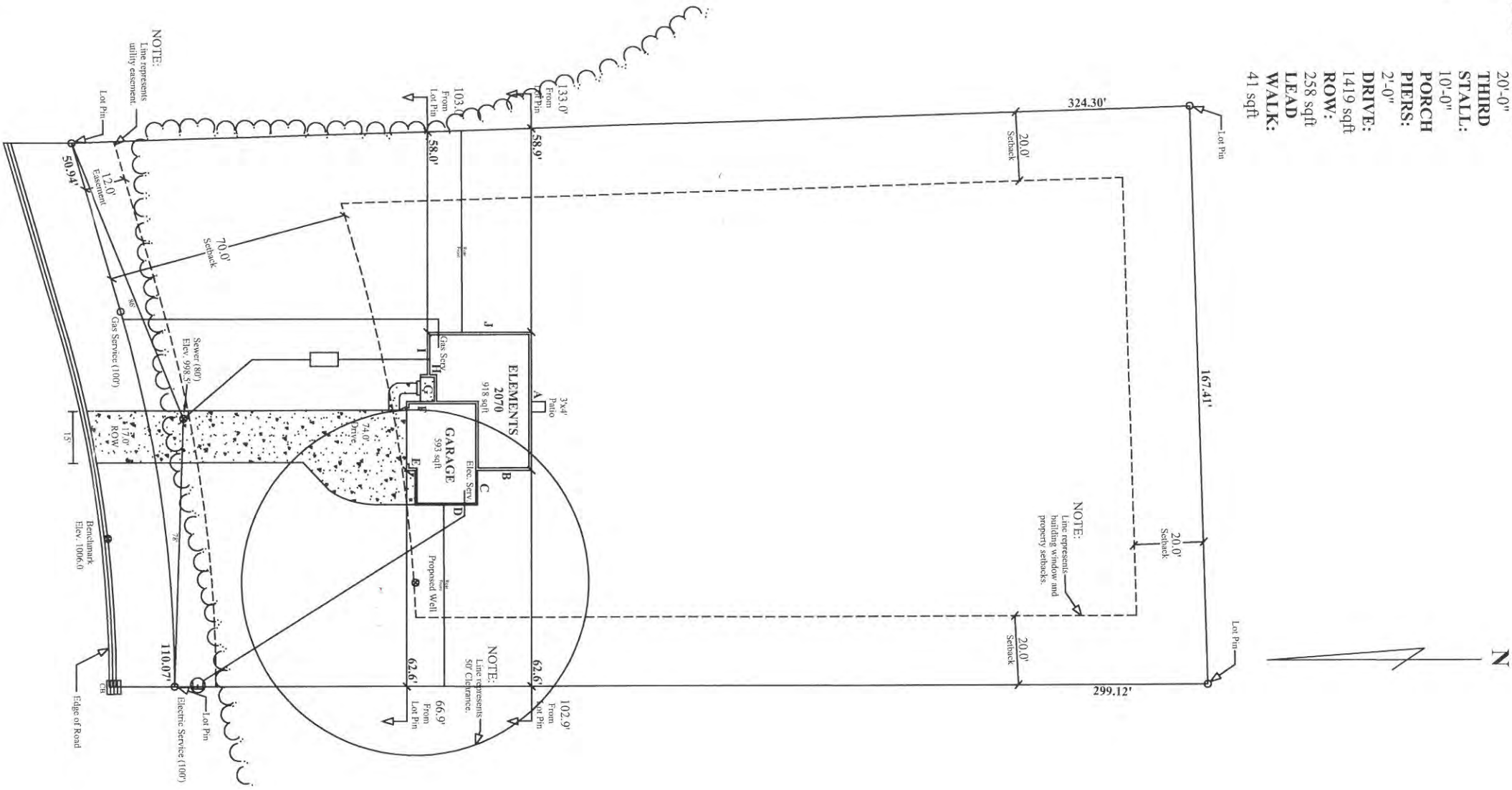
Scale: 1" = 40'-0"
Date: March 4, 2019
Front Yard: 14970 sqft
Rear Yard: 3275 sqft

GRADING PLAN
LOT #12 DIAMOND GLEN
TBD RUBY LANE
ALLEN EDWIN HOMES
2186 EAST CENTRE
PORTAGE, MI 49002

ALLEN
EDWIN
HOMES

HOUSE DIMENSIONS:
A = 40'-0"
B = 15'-6"
C = 10'-0"
D = 18'-0"
E = 2'-6"
F = 8'-0"
G = 7'-0"
H = 2'-0"
I = 12'-4"
J = 30'-0"

GARAGE DIMENSIONS:
FRONT: 20'-0"
THIRD STALL: 10'-0"
PORCH PIERS: 2'-0"
DRIVE: 1419 sqft
ROW: 258 sqft
LEAD WALK: 41 sqft



NOTE:
Top of wall to be set 9.0'
above benchmark.
Elev. 1015.0'

Scale: 1" = 40'-0"
Date: March 4, 2019
Front Yard: 14970 sqft
Rear Yard: 3275 sqft (tree buffer)
Lot Coverage: 3.1%

Version 8.0

SITE PLAN
LOT #12 DIAMOND GLEN
TBD RUBY LANE
ALLEN EDWIN HOMES
2186 EAST CENTRE
PORTAGE, MI 49002

ALLEN

EDWIN

HOMES

We value what you value.



Livingston County, Michigan
Information Technology Department
G.I.S. Division
 304 E. Grand River Ave., Howell, MI 48843
 517.548.3230
<http://www.livgov.com/gis>

Livingston County

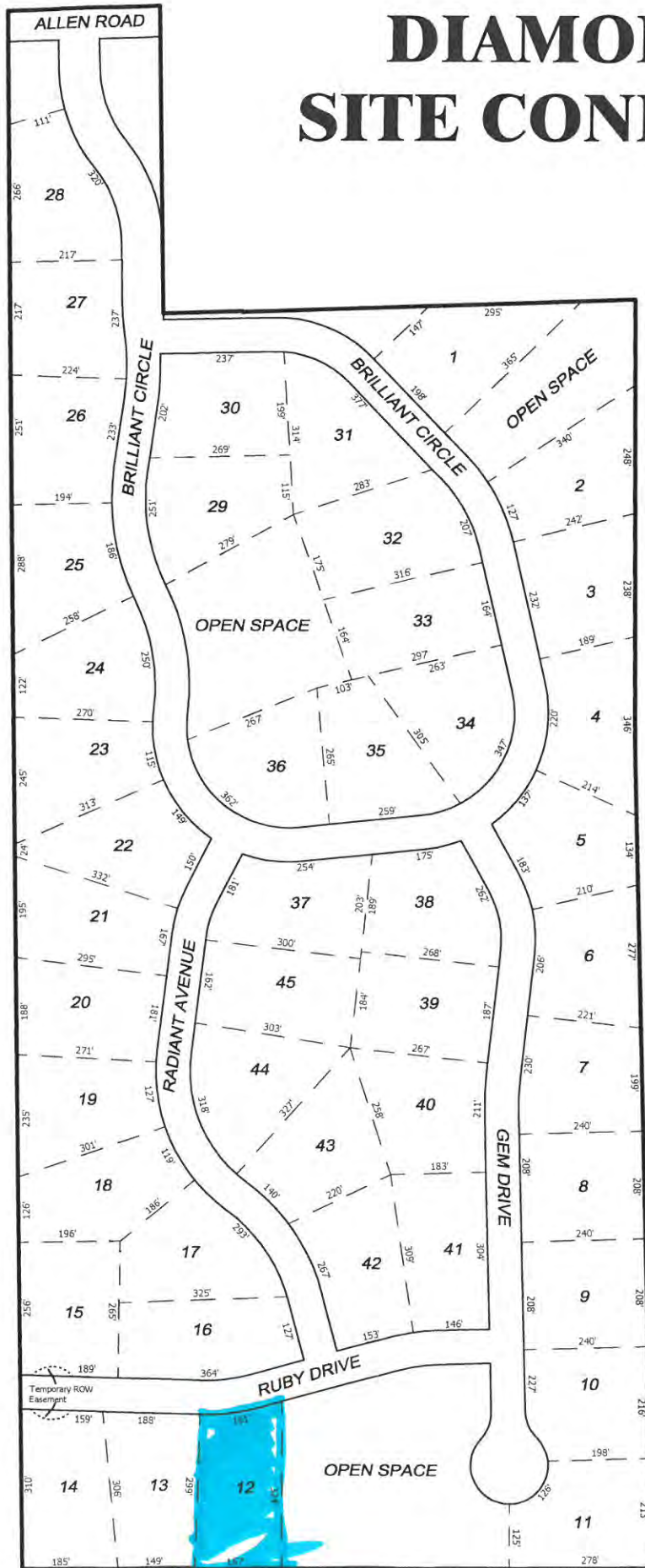
MAF INTERPRETATION NOTICE
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Printed: 8/2/2019
 Aerial Year: 2015

1 inch = 1,333 feet
 0 455 910 1,820 Feet

Livingston County IT/GIS, SEMCOG, Livingston County IT/GIS

DIAMOND GLEN SITE CONDOMINIUM



We value what you value.



Livingston County Drain Commissioners Office

Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended,
and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843
Phone: 517-546-0040 Website: www.livgov.com/drain E-mail: drain@livgov.com

Supplemental Site Plan/ SESC Measure Document

Site Address: 4606 Ruby Lane

Legal Description: SEC 4 T3N R5E DIAMOND GLEN SITE CONDOMINIUM UNIT #12 LCCP # 356 5/06

Soils information: Hillsdale-Miami Loam

Permanent SESC Measures: Sod

SESC Maintenance Program: Regular Lawn Maintenance Performed by: Homeowner

Timing and Sequence:

- Expected start date: April 2019
- Expected construction finish date: February 2020
- Expected permanent SESC measures install date: April 2020
- Expected date of site stabilization: April 2020

Construction Schedule

Year 2019

Construction Sequence	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Temporary SESC Measures												
Building Demolition												
Strip and Stockpile												
Rough Grading												
Underground Utilities												
Road Installation												
Building Construction												
Permanent SESC Measures												
Final Grade												
Landscaping												

Year 2020

Construction Sequence	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Temporary SESC Measures												
Building Demolition												
Strip and Stockpile												
Rough Grading												
Underground Utilities												
Road Installation												
Building Construction												
Permanent SESC Measures												
Final Grade												
Landscaping												



Livingston County Drain Commissioners Office

Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended,
and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843

Phone: 517-546-0040 Website: www.livgov.com/drain E-mail: drain@livgov.com

Supplemental Site Plan/ SESC Measure Document

Site Address: Willow Woods (Winans Lake Road and Musch Road)

Legal Description: N/A

Soils information: N/A

Permanent SESC Measures: N/A

SESC Maintenance Program: N/A

Performed by: N/A

Timing and Sequence Phase I: Timing and sequencing for phase I has been completed. Currently Phase I is waiting on approved retaining wall plans through the local township. Site has been seeded and temporary controls remain in place. After site stabilization, this phase will be considered finalized.

Timing and Sequence Phase II: Phase II is in progress and with what remains this is the updated construction timing and sequencing from the contractor in August 2019. If permanent measures are not installed and the site is not stabilized by the end of October, the contractor plans to continue to work on stabilization (seeding) in spring 2020.

Timing and Sequence Phase II:

- Expected start date: 8/12/2019
- Expected construction finish date: 11/30/2019
- Expected permanent SESC measures install date: 10/15/2019
- Expected date of site stabilization: 10/30/2019

Construction Schedule

Year 2019

Construction Sequence	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Temporary SESC Measures												
Building Demolition												
Strip and Stockpile												
Rough Grading												
Underground Utilities												
Road Installation												
Building Construction												
Permanent SESC Measures												
Final Grade												
Landscaping												



Livingston County Drain Commissioners Office

Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended,
and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843

Phone: 517-546-0040 Website: www.livgov.com/drain E-mail: drain@livgov.com

Supplemental Site Plan/ SESC Measure Document

Site Address: Green Oak Crossing

Seeding can occur throughout the year depending on the onsite conditions and proposed seed type. Seeding outside the preferred window allows a higher risk of failure and when successful often has a reduced germination rate but is possible with dormant and frost seeding.

Livingston County uses the vegetation stabilization information that is presented in the State of Michigan SESC training manual within Unit Three (Vegetation Stabilization) to help assess proper seeding windows.

https://www.michigan.gov/documents/deq/wrd-cswo-sesc-manual-unit3_556412_7.pdf

For this particular site, the plans indicated for seeding in late November which is outside of the preferred window, however seeding work was not completed during this timeframe because of site conditions. Seeding and mulch were not completed until May 2019 which is in the preferred seeding window.

The Livingston County Drain Office may offer suggestions and advice for appropriate timing and sequencing to permit holders regarding seeding, but will not disapprove a plan if mandatory items within a site plan are present.



Livingston County Drain Commissioners Office

Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended, and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843

Phone: 517-546-0040 Website: www.livgov.com/drain E-mail: drain@livgov.com

Supplemental Site Plan/ SESC Measure Document

Site Address: Proposed Memory Care Legacy – Addition (1500 Byron Road)

Legal Description: N/A

Soils information: N/A

Permanent SESC Measures: N/A

SESC Maintenance Program: N/A

Performed by: N/A

Timing and Sequence: Sheet 7 Drainage and Distribution/ Soil Erosion

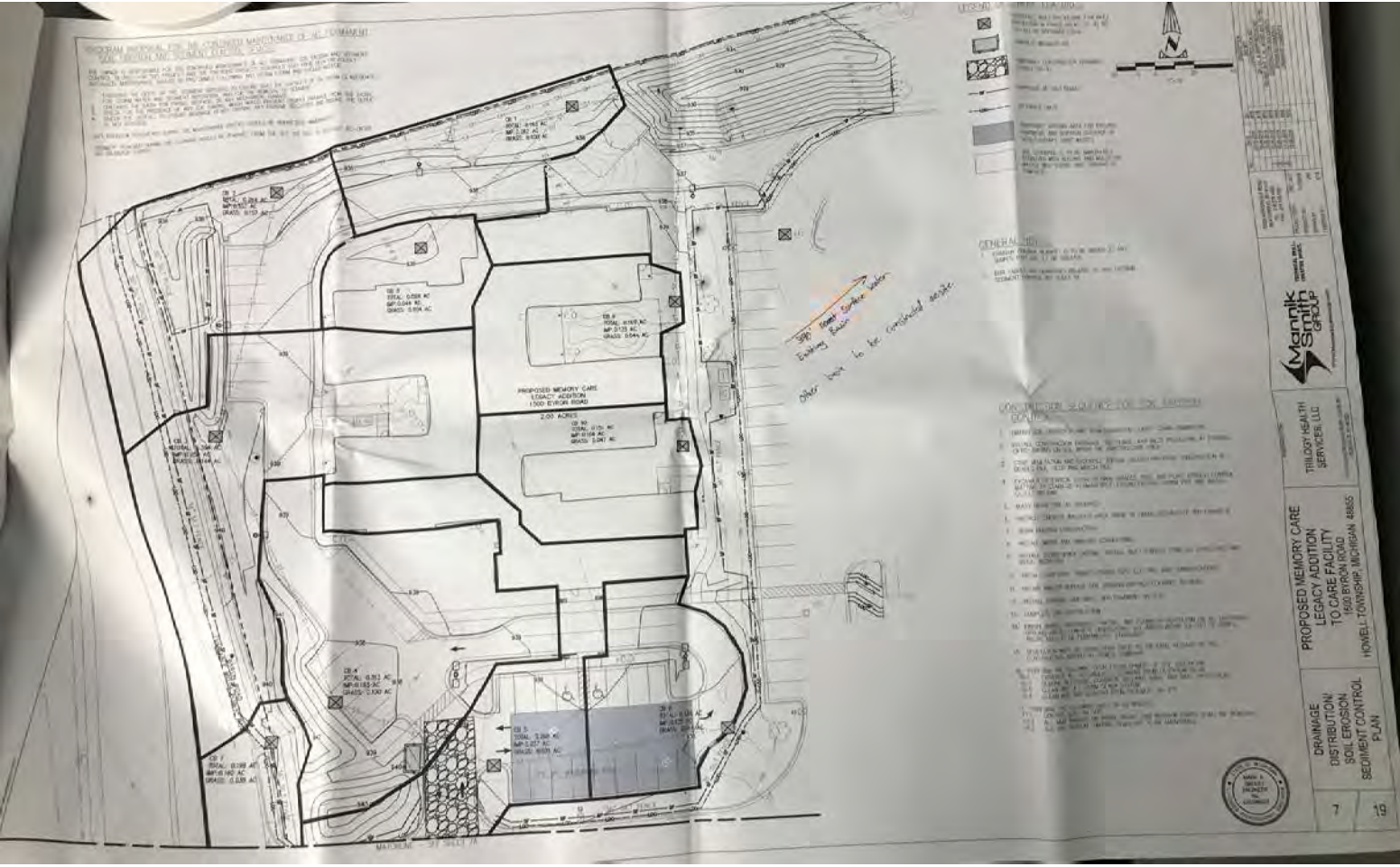
- Expected start date: 1-7-19
- Expected construction finish date: 12-27-19
- Expected permanent SESC measures install date: 10-2-19
- Expected date of site stabilization: 10-2-19

Construction Schedule

Year 2019

Construction Sequence	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec
Temporary SESC Measures	X	X	X	X	X	X	X	X	X	X	X	
Building Demolition												
Strip and Stockpile												
Rough Grading	X	X										
Underground Utilities		X	X	X								
Road Installation				X					X	X		
Building Construction				X	X	X	X	X				
Permanent SESC Measures										X		
Final Grade									X			
Landscaping										X		

Distance to nearest surface water and construction timing and sequencing was added to the existing Proposed Memory Care Legacy – Addition (1500 Byron Road) site plans on sheet 7 Drainage Distribution/ Soil Erosion



Attachment 3

LCDC Prioritization Frequency Matrix

LCDC Inspection Prioritization Matrix

High Priority	Moderate Priority	Low Priority
Commercial Major Sites	Residential Major Sites Commercial Minor Sites	Residential Minor Sites
Disturbed area is greater than 1 acre, Site is within 500 ft. of surface water	Disturbed area is less than 1 acre, Site is within 500 ft. of surface water	Disturbed area is 225-600SF and within 500 ft. of surface water
Inspections	Inspections	Inspections
<ul style="list-style-type: none"> • Upon Permit Issuance • Once a Month • After Rain Event • Complaints Received • Before permit termination 	<ul style="list-style-type: none"> • Before permit issuance • Complaints Received • Once every 4 months • Before permit termination 	<ul style="list-style-type: none"> • Before Permit Issuance • Complaints Received • Before Permit Termination

*** Priorities may change based on additional criteria (such as soil type, slope, type of resource at risk, or past performance of permittee/contractor)**

August 2019

Attachment 4

Follow up Inspection Documentation

Livingston County Soil Erosion and Sedimentation Control Program

SESC Inspections

9870 Willow Oak Dr. - PSER2019-00170

The site failed a routine inspection with WRD on 5/16/2019. A violation noticed was issued on 5/16/2019 following that inspection. The site was re-inspected on 5/29/2019, where it was found that the silt fence was re-established where it was knocked down. The tracking mat was also refreshed and the street was cleaned.



Photo taken on 5/29/19



Livingston County Drain Commissioners Office

Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended, and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843

Phone: 517-546-0040 www.livgov.com/drain

Date: 05/16/2019

RE: RESIDENTIAL SESC VIOLATION NOTICE

Permit/Waiver# PSER2019-00170

SiteAddress: 9870 WILLOW OAK DR

In order to comply with the Provisions of Part 91 of Act 451 as Amended, those undertaking earth disturbing projects are required to maintain the approved soil erosion and sedimentation control (SESC) measures, to permanently re-stabilize (re-vegetate, hard-scaping, etc.) the disturbed soil within five (5) calendar days of achieving final grade (R323.1709(5)), and to do so prior to the permit/waiver expiring.

If an inspection finds a site is out of compliance, the site will require a re-inspection for which a re-inspection fee is assessed. *If the non-compliance issue is not corrected, or if the SESC measures are not maintained, or re-stabilization is not completed prior to the permit/waiver expiring, the following actions will be taken:*

- *If compliance is not achieved, issuance of new permits/waivers will be denied until the issue has been resolved, and could result in the requirement of a performance bond on all future permits/waivers.*
- *Re-inspection fees will continue to be levied, and renewal fees will be levied if the existing permit/waiver expires prior to completion of the re-stabilization.*
- *Issuance of a Municipal Civil Infraction Notice of Violation Ticket, with a fine of \$250.00 for the first offense.*

We have found your site listed above to be out of compliance due to:

Silt fence is down/buried.

Site access is to be limited to the coarse aggregate tracking mat area. If additional access is required, an additional coarse aggregate tracking mat must be installed.

All dirt tracked into street needs to be cleaned up.

You are hereby notified that you have five days from the receipt of this letter to correct the non-compliance noted above and comply with the required SESC measures before we re-inspect your site. A re-inspection fee has been applied to this project for this re-inspection. In addition, we remind you that you are required to re-stabilize the disturbed soil prior to the permit/waiver expiring. We appreciate your prompt attention to this matter. Please contact our office with any questions.

Respectfully,

Bryan Varacalle

SESC Inspector

Livingston County Drain Commissioner's Office



Livingston County

2300 E Grand River Ave

Howell, MI 48843

Building Department 517-546-3240

Environmental Health 517-546-9858

Drain Commissioner 517-546-0040

SESC Residential Permit | PSER2019-00170

Property Information

16-19-301-022 9870 WILLOW OAK DR Subdivision:
BRIGHTON MI, 48116 Lot: Block:

Name Information

Owner: S.E. MICHIGAN LAND HOLDING LLC Phone: (586) 697 3223
Occupant: Phone:
Applicant: S.E. MICHIGAN LAND HOLDING LLC Phone: (586) 697 3223
Contractor: JA STEARNS CORP Phone: (248) 521 0064
Licensee: Phone:
License Issued:
License Expires:

Permit Information

Date Issued: 04/25/2019 Date Expires: 04/24/2021 Status: SUSPENDED (FEE)

Work Description:

House with attached garage

Stipulations:

Jon Hayward, 586-651-5210, jhayward@lombardohomes.com

Routine Inspection | Bryan Varacalle

Status: Completed Result: Disapproved
Scheduled: 05/16/2019 12:00 AM Completed: 05/16/2019 04:07 PM

Violations:

Silt fence is down/buried.

Site access is to be limited to the coarse aggregate tracking mat area. If additional access is required, an additional coarse aggregate tracking mat must be installed.

All dirt tracked into street needs to be cleaned up.

Fee Information

Administrative	Residential Major	1.00	250.00
Inspection	Re-inspection	1.00	95.00



Livingston County

2300 E Grand River Ave

Howell, MI 48843

Building Department 517-546-3240

Environmental Health 517-546-9858

Drain Commissioner 517-546-0040

SESC Residential Permit | PSER2019-00170

Property Information

16-19-301-022 9870 WILLOW OAK DR Subdivision:
BRIGHTON MI, 48116 Lot: Block:

Name Information

Owner: S.E. MICHIGAN LAND HOLDING LLC Phone: (586) 697 3223
Occupant: Phone:
Applicant: S.E. MICHIGAN LAND HOLDING LLC Phone: (586) 697 3223
Contractor: JA STEARNS CORP Phone: (248) 521 0064
Licensee: Phone:
License Issued:
License Expires:

Permit Information

Date Issued: 04/25/2019 Date Expires: 04/24/2021 Status: SUSPENDED (FEE)

Work Description:

House with attached garage

Stipulations:

Jon Hayward, 586-651-5210, jhayward@lombardohomes.com

Routine Inspection | Bryan Varacalle

Status: Completed Result: Approved
Scheduled: 05/29/2019 12:00 AM Completed: 05/29/2019 09:47 AM

Fee Information

Administrative	Residential Major	1.00	250.00
Inspection	Re-inspection	1.00	95.00

Livingston County Soil Erosion and Sedimentation Control Program
SESC Inspections

9656 Willow Oak Dr. - PSER2018-00674

5/16/2019 WRD observed that the silt fence was not maintained. A residential inspection report was sent to the contractor on 5/16/2019 stating the silt fence was in need of immediate attention. The site was re-inspected on 5/29/2019 where the silt fence maintenance had been addressed and approved.



Photo taken on 5/29/19



Livingston County Drain Commissioners Office

Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended, and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843

Phone: 517-546-0040 www.livgov.com/drain

05/16/2019

RE: RESIDENTIAL SESC INSPECTION REPORT
9656 WILLOW OAK DR
Permit/Waiver# PSER2018-00674

A recent inspection has revealed the following items that are in need of immediate attention in order to keep your site in compliance:

Silt fence is down/buried.

If the above items are not addressed, a violation notice will be issued for the site. Please see images, if attached, of the issues requiring attention.

Respectfully,

Bryan Varacalle
SESC Inspector
Livingston County Drain Commissioner's Office



Livingston County

2300 E Grand River Ave

Howell, MI 48843

Building Department 517-546-3240

Environmental Health 517-546-9858

Drain Commissioner 517-546-0040

SESC Residential Permit | PSER2018-00674

Property Information

16-19-301-043 9656 WILLOW OAK DR Subdivision:
HOWELL MI, 48843 Lot: Block:

Name Information

Owner: S.E. MICHIGAN LAND HOLDING LLC Phone: (586) 697 3223
Occupant: Phone:
Applicant: LOMBARDO HOMES OF SE MICHIGAN LLC Phone: (586) 697 3223
Contractor: JA STEARNS CORP Phone: (248) 521 0064
Licensee: Phone:
License Issued:
License Expires:

Permit Information

Date Issued: 09/18/2018 Date Expires: 09/17/2020 Status: ISSUED

Work Description:
New House Attached Garage

Stipulations:
Jon Hayward - jhayward@lombardohomes.com - 586-651-5210

Routine Inspection | Bryan Varacalle

Status: Completed Result: Partially Approved
Scheduled: 05/16/2019 12:00 AM Completed: 05/16/2019 03:54 PM

Violations:

Silt fence is down/buried.

Fee Information

Administrative	Residential Major	1.00	250.00
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Livingston County

2300 E Grand River Ave

Howell, MI 48843

Building Department 517-546-3240
Environmental Health 517-546-9858
Drain Commissioner 517-546-0040

SESC Residential Permit | PSER2018-00674

Property Information

16-19-301-043 9656 WILLOW OAK DR Subdivision:
HOWELL MI, 48843 Lot: Block:

Name Information

Owner: S.E. MICHIGAN LAND HOLDING LLC Phone: (586) 697 3223
Occupant: Phone:
Applicant: LOMBARDO HOMES OF SE MICHIGAN LLC Phone: (586) 697 3223
Contractor: JA STEARNS CORP Phone: (248) 521 0064
Licensee: Phone:
License Issued:
License Expires:

Permit Information

Date Issued: 09/18/2018 Date Expires: 09/17/2020 Status: ISSUED

Work Description:
New House Attached Garage

Stipulations:
Jon Hayward - jhayward@lombardohomes.com - 586-651-5210

Routine Inspection | Bryan Varacalle

Status: Completed Result: Approved
Scheduled: 05/29/2019 12:00 AM Completed: 05/29/2019 09:31 AM

Fee Information

Administrative	Residential Major	1.00	250.00
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Livingston County Soil Erosion and Sedimentation Control Program

SESC Inspections

6297 Summerbrooke Circle – PSER2018-00363:

During an inspection with WRD on 5/16/2019, it was found that silt fence had been taken down hours prior to arrival for final grade on the site. Livingston County SESC Inspector Rod Soos spoke to the sub-contractor who was still on site and called the contractor and let them know that the silt fence had to be re-established and the street cleaned as soon as possible. A violation notice was sent to the contractor following the inspection. Re-inspection on 5/22/2019 found that the street had been cleaned and the silt fence re-established. Rod Soos also spoke with the homeowner on 5/22/2019 and went over the SESC requirements, where topsoil, seeding, and mulching was to occur in the next week.



Photo Taken: 5/22/2019



Livingston County Drain Commissioners Office

Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended, and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843

Phone: 517-546-0040 www.livgov.com/drain

Date: 05/16/2019

RE: RESIDENTIAL SESC VIOLATION NOTICE

Permit/Waiver# PSER2018-00363

SiteAddress: 6297 SUMMERBROOKE CIR

In order to comply with the Provisions of Part 91 of Act 451 as Amended, those undertaking earth disturbing projects are required to maintain the approved soil erosion and sedimentation control (SESC) measures, to permanently re-stabilize (re-vegetate, hard-scaping, etc.) the disturbed soil within five (5) calendar days of achieving final grade (R323.1709(5)), and to do so prior to the permit/waiver expiring.

If an inspection finds a site is out of compliance, the site will require a re-inspection for which a re-inspection fee is assessed. *If the non-compliance issue is not corrected, or if the SESC measures are not maintained, or re-stabilization is not completed prior to the permit/waiver expiring, the following actions will be taken:*

- *If compliance is not achieved, issuance of new permits/waivers will be denied until the issue has been resolved, and could result in the requirement of a performance bond on all future permits/waivers.*
- *Re-inspection fees will continue to be levied, and renewal fees will be levied if the existing permit/waiver expires prior to completion of the re-stabilization.*
- *Issuance of a Municipal Civil Infraction Notice of Violation Ticket, with a fine of \$250.00 for the first offense.*

We have found your site listed above to be out of compliance due to:

Silt fence taken down to do the final grading needs to be re-established along the street. The silt fence needs to be maintained until vegetation has been established.

You are hereby notified that you have five days from the receipt of this letter to correct the non-compliance noted above and comply with the required SESC measures before we re-inspect your site. In addition, we remind you that you are required to re-stabilize the disturbed soil prior to the permit/waiver expiring. We appreciate your prompt attention to this matter. Please contact our office with any questions.

Respectfully,

Rod Soos
SESC Inspector
Livingston County Drain Commissioner's Office



Livingston County

2300 E Grand River Ave

Howell, MI 48843

Building Department 517-546-3240

Environmental Health 517-546-9858

Drain Commissioner 517-546-0040

SESC Residential Permit | PSER2018-00363

Property Information

05-01-401-001 6297 SUMMERBROOKE CIR Subdivision: SUMMERBROOKE
FOWLERVILLE MI, 48836 Lot: Block:

Name Information

Owner: SUMMERBROOKE DEVELOPMENT LLC Phone: (517) 294 7774
Occupant: Phone:
Applicant: CVE HOMES Phone: (517) 641 6000
Contractor: CVE HOMES Phone: (517) 641 6000
Licensee: Phone:
License Issued:
License Expires:

Permit Information

Date Issued: 06/29/2018 Date Expires: 06/28/2020 Status: ISSUED

Work Description:

House with attached garage

Stipulations:

4/22/19: New responsible person if approved - David Pillar, 517-294-4678.
davidtp1990@aol.com Sarah - pohlsar@gmail.com

Nick Hancock, 517-499-4102, nick@cvehomes.com

Routine Inspection | Rod Soos

Status: Completed Result: Partially Approved
Scheduled: 07/23/2019 12:00 AM Completed: 05/16/2019 03:49 PM

Violations:

Silt fence taken down to do the final grading needs to be re-established along the street. The silt fence needs to be maintained until vegetation has been established.

Called and spoke with David the home owner and went over the SESC requirements. He plans on spreading topsoil seeding and mulching next week.

Fee Information

Administrative	Residential Major	1.00	250.00
Inspection	Re-inspection	1.00	95.00
Inspection	Re-inspection	1.00	95.00
Inspection	Re-inspection	1.00	95.00
Inspection	Re-inspection	1.00	95.00



Livingston County

2300 E Grand River Ave

Howell, MI 48843

Building Department 517-546-3240

Environmental Health 517-546-9858

Drain Commissioner 517-546-0040

SESC Residential Permit | PSER2018-00363

Property Information

05-01-401-001 6297 SUMMERBROOKE CIR Subdivision: SUMMERBROOKE
FOWLERVILLE MI, 48836 Lot: Block:

Name Information

Owner: SUMMERBROOKE DEVELOPMENT LLC Phone: (517) 294 7774
Occupant: Phone:
Applicant: CVE HOMES Phone: (517) 641 6000
Contractor: CVE HOMES Phone: (517) 641 6000
Licensee: Phone:
License Issued:
License Expires:

Permit Information

Date Issued: 06/29/2018 Date Expires: 06/28/2020 Status: ISSUED

Work Description:

House with attached garage

Stipulations:

4/22/19: New responsible person if approved - David Pillar, 517-294-4678.
davidtp1990@aol.com Sarah - pohlsar@gmail.com

Nick Hancock, 517-499-4102, nick@cvehomes.com

Routine Inspection | Rod Soos

Status: Completed Result: Approved
Scheduled: 05/22/2019 12:00 AM Completed: 05/22/2019 02:03 PM

Called and spoke with David the home owner and went over the SESC requirements. He plans on spreading topsoil seeding and mulching next week.

Fee Information

Administrative	Residential Major	1.00	250.00
Inspection	Re-inspection	1.00	95.00
Inspection	Re-inspection	1.00	95.00
Inspection	Re-inspection	1.00	95.00
Inspection	Re-inspection	1.00	95.00

Livingston County Soil Erosion and Sedimentation Control Program

SESC Inspections

11933 Read Road – PSER2018-0071

WRD noted within the audit documents that silt fence was installed incorrectly during the 5/17/19 site visit. During this site visit, there was no indication or discussion from WRD to Livingston County that there were incorrect measures found. Livingston County Soil Erosion Inspector Rob Quigley also did not notice deficiencies besides an improperly wrapped silt fence on the north side of the property. The silt fence that was installed without proper wrapping has since been replaced with a wood retaining wall shown in the picture below from 7/22/2019.

The Livingston County Drain Office was also unaware of the seawall installation on this property prior to the 5/17/2019 site visit where the location has since been added to the SESC plan but the area that was disturbed for seawall construction has since been stabilized and shown in a picture below from 8/8/2019. There is still some stabilization that needs to occur from the home construction on permit PSER2018-0071 which can be seen on the photo as well.

This site was found to be in compliance after the 8/8/2019 inspection but LCDC will continue to monitor this site until full stabilization is reached. Some temporary controls (silt fence) have been removed by the property owner due to the flat grade and stabilized buffer around the non-stabilized soil.

The Livingston County Drain Office notifies WRD when there is concern regarding a seawall or other construction below an ordinary high water. In this case, Laura Matthews of the WRD was made aware verbally onsite that Livingston County did not know of the seawall construction and therefore she would follow up with a permit investigation. Permits received from WRD regarding this property are included below.



Photo taken: 7/22/2019



Photo taken: 8/08/2019



NOTICE OF AUTHORIZATION

Permit Number: WRP013818 v. 1
Site Name: 47-11933 Read Road-Fenton

Date Issued: October 11, 2018
Expiration Date: October 11, 2023

The Michigan Department of Environmental Quality, Water Resources Division, P.O. Box 30458, Lansing, Michigan 48909-7958, under provisions of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended; specifically:

- ☐ Part 31, Floodplain Regulatory Authority of the Water Resources Protection.
- ☒ Part 301, Inland Lakes and Streams.
- ☐ Part 303, Wetlands Protection.

Authorized activity:

Place approximately 3 cubic yards of properly sized rock riprap (not to exceed 24-inch diameter rock) along and to follow 70 linear feet of the Ordinary High-Water Mark (OHWM) of Lake Tyrone.

To be conducted at property located in: Livingston County, Waterbody: Lake Tyrone
Section 03, Town 03N, Range 06E, Hartland Township

Permittee:
Victoria Wilczewski
11933 Read Rd
Fenton, MI 48430

A handwritten signature in black ink, appearing to read 'Jeff Pierce', is written over a faint, larger signature.

Jeff Pierce
Lansing District Office
Water Resources Division
517-416-4297

*This notice must be displayed at the site of work.
Laminating this notice or utilizing sheet protectors is recommended.
Please refer to the above permit number with any questions or concerns.*



NOTICE OF AUTHORIZATION

Permit Number: WRP015708 v. 1
Site Name: 47-11933 Read Road-Fenton

Date Issued: April 4, 2019
Expiration Date: April 4, 2024

The Michigan Department of Environmental Quality, Water Resources Division, P.O. Box 30458, Lansing, Michigan 48909-7958, under provisions of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended; specifically:

- ☐ Part 31, Floodplain Regulatory Authority of the Water Resources Protection.
- ☒ Part 301, Inland Lakes and Streams.
- ☐ Part 303, Wetlands Protection.

Authorized activity:

Place approximately 6 cubic yards of fill materials, consisting of at least 50 percent peastone, with the balance being sand, in an area 20 feet by 15 feet to a depth of 6 inches over a biodegradable mat.

To be conducted at property located in: Livingston County, Waterbody: Lake Tyrone
Section 03, Town 03N, Range 06E, Hartland Township

Permittee:
Victoria Wilczewski
11933 Read Road
Fenton, Michigan 48430

A handwritten signature in black ink, appearing to read 'Jeff Pierce', with a long horizontal line extending to the right.

Jeff Pierce
Lansing District Office
Water Resources Division
517-416-4297

*This notice must be displayed at the site of work.
Laminating this notice or utilizing sheet protectors is recommended.
Please refer to the above permit number with any questions or concerns.*

DEQ-WRD
WRP015708 v1.0
Approved
Issued On: 04/04/2019
Expires On: 04/04/2024



Livingston County

2300 E Grand River Ave
Howell, MI 48843

Building Department 517-546-3240
Environmental Health 517-546-9858
Drain Commissioner 517-546-0040

SESC Residential Permit | PSER2018-00071

Property Information

08-03-201-054 11933 READ RD Subdivision: LAKE TYRONE ESTATES #3
FENTON MI, Lot: Block:

Name Information

Owner: WILCZEWSKI VICTORIA L Phone: (734) 732 1148
Occupant: Phone:
Applicant: WILCZEWSKI VICTORIA L Phone: (734) 732 1148
Contractor: WILCZEWSKI VICTORIA L Phone:
Licensee: Phone:
License Issued:
License Expires:

Permit Information

Date Issued: 03/05/2018 Date Expires: 03/04/2020 Status: ISSUED

Work Description:

4/6 - Added new home build with attached garage. 2/20 - Demo of house only, GRINDER

Stipulations:

WILCZEWSKI, VICTORIA 734-732-1148 vickie.wilczewski@gmail.com

Routine Inspection | Rob Quigley

Status: Completed

Result: Approved

Scheduled: 05/16/2019 12:00 AM

Completed: 05/16/2019 03:31 PM

Passed Inspection Item Comments:

INSPECTOR COMMENTS: site in compliance almost ready for final.

Inspection Comments

No Bldg Permit

Fee Information

Administrative	Residential Major	1.00	250.00
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Livingston County

2300 E Grand River Ave

Howell, MI 48843

Building Department 517-546-3240

Environmental Health 517-546-9858

Drain Commissioner 517-546-0040

SESC Residential Permit | PSER2018-00071

Property Information

08-03-201-054 11933 READ RD Subdivision: LAKE TYRONE ESTATES #3
FENTON MI, Lot: Block:

Name Information

Owner: WILCZEWSKI VICTORIA L Phone: (734) 732 1148
Occupant: Phone:
Applicant: WILCZEWSKI VICTORIA L Phone: (734) 732 1148
Contractor: WILCZEWSKI VICTORIA L Phone:
Licensee: Phone:
License Issued:
License Expires:

Permit Information

Date Issued: 03/05/2018 Date Expires: 03/04/2020 Status: ISSUED

Work Description:

4/6 - Added new home build with attached garage. 2/20 - Demo of house only. GRINDER

Stipulations:

WILCZEWSKI, VICTORIA 734-732-1148 vickie.wilczewski@gm.com

Routine Inspection | Rob Quigley

Status: Completed

Result: Approved

Scheduled: 07/22/2019 12:00 AM

Completed: 07/22/2019 11:28 AM

Inspection Comments

No Bldg Permit

Fee Information

Administrative	Residential Major	1.00	250.00
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Livingston County

2300 E Grand River Ave

Howell, MI 48843

Building Department 517-546-3240

Environmental Health 517-546-9858

Drain Commissioner 517-546-0040

SESC Residential Permit | PSER2018-00071

Property Information

08-03-201-054 11933 READ RD Subdivision: LAKE TYRONE ESTATES #3
FENTON MI, Lot: Block:

Name Information

Owner: WILCZEWSKI VICTORIA L Phone: (734) 732 1148
Occupant: Phone:
Applicant: WILCZEWSKI VICTORIA L Phone: (734) 732 1148
Contractor: WILCZEWSKI VICTORIA L Phone:
Licensee: Phone:
License Issued:
License Expires:

Permit Information

Date Issued: 03/05/2018 Date Expires: 03/04/2020 Status: ISSUED

Work Description:

4/6 - Added new home build with attached garage. 2/20 - Demo of house only. GRINDER

Stipulations:

WILCZEWSKI, VICTORIA 734-732-1148 vickie.wilczewski@gm.com

Routine Inspection | Rob Quigley

Status: Completed

Result: Approved

Scheduled: 08/08/2019 12:00 AM

Completed: 08/08/2019 03:38 PM

Passed Inspection Item Comments:

Site being landscaped.

INSPECTOR COMMENTS: site is vegetated will be closed by September

Inspection Comments

No Bldg Permit

Fee Information

Administrative	Residential Major	1.00	250.00
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Livingston County Soil Erosion and Sedimentation Control Program

SESC Inspections

5610 Radiant Ave – PSER2018-0749

The site was inspected with WRD on 5/17/2019 where the silt fence was missing where it was required and some of the fence needed additional maintenance. Livingston County Soil Erosion Inspector Rob Quigley called the homeowner by phone on 5/17/2019 to inform them of the infractions. This site was a newly transferred permit where the responsible person changed from building contractor to the homeowner. A follow up inspection on 5/30/2019 found that silt fence was still missing where it was required to extend to the tracking mat. A violation notice was sent on 5/30/2019 for the missing silt fence. A follow up inspection on 6/6/2019 found the site in compliance where the tracking mat was now a concrete drive and silt fence extended to the driveway and was brought to the curb.



Photo taken on 6/6/19



Livingston County Drain Commissioners Office

Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended, and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843

Phone: 517-546-0040 www.livgov.com/drain

Date: 05/30/2019

RE: RESIDENTIAL SESC VIOLATION NOTICE

Permit/Waiver# PSER2018-00749

SiteAddress: 5610 RADIANT AVE

In order to comply with the Provisions of Part 91 of Act 451 as Amended, those undertaking earth disturbing projects are required to maintain the approved soil erosion and sedimentation control (SESC) measures, to permanently re-stabilize (re-vegetate, hard-scaping, etc.) the disturbed soil within five (5) calendar days of achieving final grade (R323.1709(5)), and to do so prior to the permit/waiver expiring.

If an inspection finds a site is out of compliance, the site will require a re-inspection for which a re-inspection fee is assessed. *If the non-compliance issue is not corrected, or if the SESC measures are not maintained, or re-stabilization is not completed prior to the permit/waiver expiring, the following actions will be taken:*

- *If compliance is not achieved, issuance of new permits/waivers will be denied until the issue has been resolved, and could result in the requirement of a performance bond on all future permits/waivers.*
- *Re-inspection fees will continue to be levied, and renewal fees will be levied if the existing permit/waiver expires prior to completion of the re-stabilization.*
- *Issuance of a Municipal Civil Infraction Notice of Violation Ticket, with a fine of \$250.00 for the first offense.*

We have found your site listed above to be out of compliance due to:

Silt fence is missing where it is required.

INSPECTOR COMMENTS:
on edge of drive

You are hereby notified that you have five days from the receipt of this letter to correct the non-compliance noted above and comply with the required SESC measures before we re-inspect your site. A re-inspection fee has been applied to this project for this re-inspection. In addition, we remind you that you are required to re-stabilize the disturbed soil prior to the permit/waiver expiring. We appreciate your prompt attention to this matter. Please contact our office with any questions.

Respectfully,

Rob Quigley
SESC Inspector
Livingston County Drain Commissioner's Office



Livingston County

2300 E Grand River Ave

Howell, MI 48843

Building Department 517-546-3240

Environmental Health 517-546-9858

Drain Commissioner 517-546-0040

SESC Residential Permit | PSER2018-00749

Property Information

07-04-201-045 5610 RADIANT AVE Subdivision: DIAMOND GLEN
HOWELL MI, 48855 Lot: Block:

Name Information

Owner: WESTVIEW CAPITAL LLC Phone: (616) 878 1748
Occupant: Phone:
Applicant: ALLEN EDWIN HOME BUILDERS LLC Phone: (616) 878 1748
Contractor: ALLEN EDWIN HOME BUILDERS LLC Phone: (616) 878 1748
Licensee: Phone:
License Issued:
License Expires:

Permit Information

Date Issued: 09/13/2018 Date Expires: 09/12/2020 Status: ISSUED

Work Description:

House with attached garage

Stipulations:

Ray Nouhan II, 248-640-2867, rnouhan@allenedwin.com
If transfer is OK: MARY K. LOWNEY 248-921-7682

Transfer Inspection | Rob Quigley

Status: **Completed** Result: **Partially Approved**
Scheduled: 05/22/2019 12:00 AM Completed: **05/17/2019 03:02 PM**

Violations:

Silt fence is missing where it is required.

INSPECTOR COMMENTS: on edge of drive

Fee Information

Administrative	Residential Major	1.00	250.00
Inspection	Re-inspection	1.00	95.00



Livingston County

2300 E Grand River Ave

Howell, MI 48843

Building Department 517-546-3240

Environmental Health 517-546-9858

Drain Commissioner 517-546-0040

SESC Residential Permit | PSER2018-00749

Property Information

07-04-201-045 5610 RADIANT AVE Subdivision: DIAMOND GLEN
HOWELL MI, 48855 Lot: Block:

Name Information

Owner: WESTVIEW CAPITAL LLC Phone: (616) 878 1748
Occupant: Phone:
Applicant: ALLEN EDWIN HOME BUILDERS LLC Phone: (616) 878 1748
Contractor: ALLEN EDWIN HOME BUILDERS LLC Phone: (616) 878 1748
Licensee: Phone:
License Issued:
License Expires:

Permit Information

Date Issued: 09/13/2018 Date Expires: 09/12/2020 Status: ISSUED

Work Description:

House with attached garage

Stipulations:

Ray Nouhan II, 248-640-2867, rnouhan@allenedwin.com
If transfer is OK: MARY K. LOWNEY 248-921-7682

Routine Inspection | Rob Quigley

Status: **Completed** Result: **Partially Approved**
Scheduled: 05/30/2019 12:00 AM Completed: **05/30/2019 02:46 PM**

Fee Information

Administrative	Residential Major	1.00	250.00
Inspection	Re-inspection	1.00	95.00



Livingston County

2300 E Grand River Ave

Howell, MI 48843

Building Department 517-546-3240

Environmental Health 517-546-9858

Drain Commissioner 517-546-0040

SESC Residential Permit | PSER2018-00749

Property Information

07-04-201-045	5610 RADIANT AVE	Subdivision:	DIAMOND GLEN
	HOWELL MI, 48855	Lot:	Block:

Name Information

Owner:	WESTVIEW CAPITAL LLC	Phone:	(616) 878 1748
Occupant:		Phone:	
Applicant:	ALLEN EDWIN HOME BUILDERS LLC	Phone:	(616) 878 1748
Contractor:	ALLEN EDWIN HOME BUILDERS LLC	Phone:	(616) 878 1748
Licensee:		Phone:	
License Issued:			
License Expires:			

Permit Information

Date Issued:	09/13/2018	Date Expires:	09/12/2020	Status:	ISSUED
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Work Description:

House with attached garage

Stipulations:

Ray Nouhan II, 248-640-2867, rnouhan@allenedwin.com
If transfer is OK: MARY K. LOWNEY 248-921-7682

Routine Inspection | Rob Quigley

Status:	Completed	Result:	Approved
Scheduled:	06/06/2019 12:00 AM	Completed:	06/06/2019 12:51 PM

Fee Information

Administrative	Residential Major	1.00	250.00
Inspection	Re-inspection	1.00	95.00

Livingston County Soil Erosion and Sedimentation Control Program
SESC Inspections

8270 Birchfield Dr. PSER2018-00605

During a site visit with WRD on 5/16/2019, some silt fence was not maintained. A residential inspection report was sent to the contractor stating the silt fence was in need of immediate attention. The site was re-inspected on 5/29/2019 and approved.



Photo taken on 5/29/19



Livingston County Drain Commissioners Office

Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended, and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843

Phone: 517-546-0040 www.livgov.com/drain

05/16/2019

RE: RESIDENTIAL SESC INSPECTION REPORT
8270 BIRCHFIELD DR
Permit/Waiver# PSER2018-00605

A recent inspection has revealed the following items that are in need of immediate attention in order to keep your site in compliance:

Silt fence is down/buried.

If the above items are not addressed, a violation notice will be issued for the site. Please see images, if attached, of the issues requiring attention.

Respectfully,

Bryan Varacalle
SESC Inspector
Livingston County Drain Commissioner's Office



Livingston County

2300 E Grand River Ave

Howell, MI 48843

Building Department 517-546-3240

Environmental Health 517-546-9858

Drain Commissioner 517-546-0040

SESC Residential Permit | PSER2018-00605

Property Information

16-19-301-025 8270 BIRCHFIELD DR Subdivision:
BRIGHTON MI, 48116 Lot: Block:

Name Information

Owner: S.E. MICHIGAN LAND HOLDING LLC Phone: (586) 697 3223
Occupant: Phone:
Applicant: HOHENSEE, STEVE Phone: (586) 697 3223
Contractor: JA STEARNS CORP Phone: (248) 521 0064
Licensee: Phone:
License Issued:
License Expires:

Permit Information

Date Issued: 09/18/2018 Date Expires: 09/17/2020 Status: ISSUED

Work Description:
New home, attached garage, porch

Stipulations:
JON HAYWARD 586-651-5210 jhayward@lombardohomes.com

Routine Inspection | Bryan Varacalle

Status: **Completed** Result: **Partially Approved**
Scheduled: 05/16/2019 12:00 AM Completed: **05/16/2019 04:02 PM**

Violations:

Silt fence is down/buried.

Fee Information

Administrative	Residential Major	1.00	250.00
Inspection	Re-inspection	1.00	95.00



Livingston County

2300 E Grand River Ave

Howell, MI 48843

Building Department 517-546-3240

Environmental Health 517-546-9858

Drain Commissioner 517-546-0040

SESC Residential Permit | PSER2018-00605

Property Information

16-19-301-025 8270 BIRCHFIELD DR Subdivision:
BRIGHTON MI, 48116 Lot: Block:

Name Information

Owner: S.E. MICHIGAN LAND HOLDING LLC Phone: (586) 697 3223
Occupant: Phone:
Applicant: HOHENSEE, STEVE Phone: (586) 697 3223
Contractor: JA STEARNS CORP Phone: (248) 521 0064
Licensee: Phone:
License Issued:
License Expires:

Permit Information

Date Issued: 09/18/2018 Date Expires: 09/17/2020 Status: ISSUED

Work Description:

New home, attached garage, porch

Stipulations:

JON HAYWARD 586-651-5210 jhayward@lombardohomes.com

Routine Inspection | Bryan Varacalle

Status: **Completed** Result: **Approved**
Scheduled: 05/29/2019 12:00 AM Completed: **05/29/2019 09:40 AM**

Fee Information

Administrative	Residential Major	1.00	250.00
Inspection	Re-inspection	1.00	95.00

Livingston County Soil Erosion and Sedimentation Control Program

SESC Inspections

6215 Summerbrooke Circle – PSER2018-00749:

During an inspection with WRD on 5/16/2019, it was found that silt fence had been taken down hours prior to arrival for final grade on the site. Livingston County SESC Inspector Rod Soos spoke to the sub-contractor who was still on site and called the contractor and let them know that the silt fence had to be re-established and the street cleaned as soon as possible. A violation notice was sent to the contractor following the 5/16/2019 inspection. Rod Soos also spoke with homeowner Amber over the phone and went over the SESC requirements. Rod Soos asked about the plan for establishing the lawn and she said that they were not sure yet. It was suggested to seed and mulch as well as irrigation so they have the site stabilized by fall. Re-inspection on 5/22/2019 found that the street had been cleaned and the silt fence re-established.

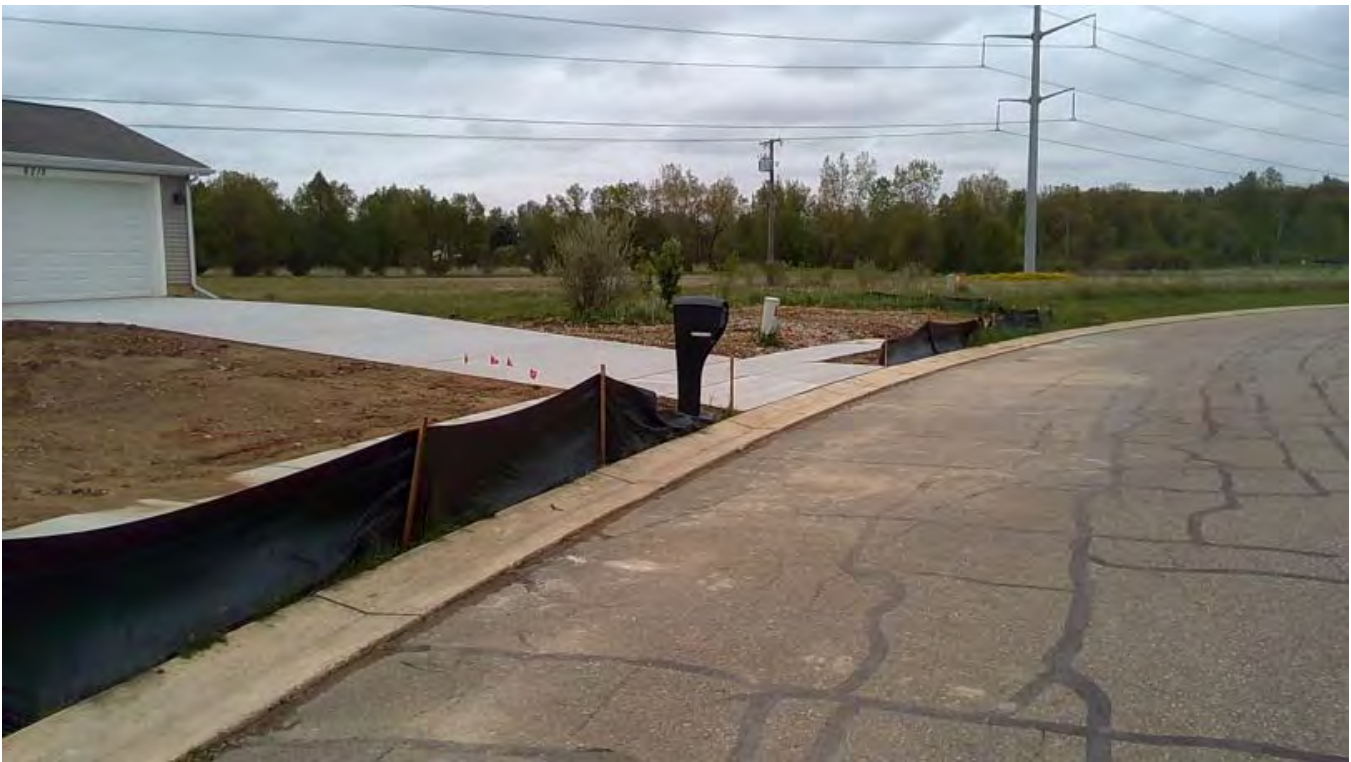


Photo Taken: 5/22/2019



Livingston County Drain Commissioners Office

Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended, and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843

Phone: 517-546-0040 www.livgov.com/drain

Date: 05/16/2019

RE: RESIDENTIAL SESC VIOLATION NOTICE

Permit/Waiver# PSER2018-00616

SiteAddress: 6215 SUMMERBROOKE CIR

In order to comply with the Provisions of Part 91 of Act 451 as Amended, those undertaking earth disturbing projects are required to maintain the approved soil erosion and sedimentation control (SESC) measures, to permanently re-stabilize (re-vegetate, hard-scaping, etc.) the disturbed soil within five (5) calendar days of achieving final grade (R323.1709(5)), and to do so prior to the permit/waiver expiring.

If an inspection finds a site is out of compliance, the site will require a re-inspection for which a re-inspection fee is assessed. *If the non-compliance issue is not corrected, or if the SESC measures are not maintained, or re-stabilization is not completed prior to the permit/waiver expiring, the following actions will be taken:*

- *If compliance is not achieved, issuance of new permits/waivers will be denied until the issue has been resolved, and could result in the requirement of a performance bond on all future permits/waivers.*
- *Re-inspection fees will continue to be levied, and renewal fees will be levied if the existing permit/waiver expires prior to completion of the re-stabilization.*
- *Issuance of a Municipal Civil Infraction Notice of Violation Ticket, with a fine of \$250.00 for the first offense.*

We have found your site listed above to be out of compliance due to:

Silt fence taken down to do the final grading needs to be re-established along the street. The silt fence needs to be maintained until vegetation has been established.

You are hereby notified that you have five days from the receipt of this letter to correct the non-compliance noted above and comply with the required SESC measures before we re-inspect your site. In addition, we remind you that you are required to re-stabilize the disturbed soil prior to the permit/waiver expiring. We appreciate your prompt attention to this matter. Please contact our office with any questions.

Respectfully,

Rod Soos

SESC Inspector

Livingston County Drain Commissioner's Office



Livingston County

2300 E Grand River Ave

Howell, MI 48843

Building Department 517-546-3240

Environmental Health 517-546-9858

Drain Commissioner 517-546-0040

SESC Residential Permit | PSER2018-00616

Property Information

05-01-401-008 6215 SUMMERBROOKE CIR Subdivision: SUMMERBROOKE
FOWLERVILLE MI, 48836 Lot: Block:

Name Information

Owner: SUMMERBROOKE DEVELOPMENT LLC Phone: (517) 294 7774
Occupant: Phone:
Applicant: CVE HOMES Phone: (517) 641 6000
Contractor: CVE HOMES Phone: (517) 641 6000
Licensee: Phone:
License Issued:
License Expires:

Permit Information

Date Issued: 07/23/2018 Date Expires: 07/22/2020 Status: ISSUED

Work Description:

New home, attached garage

Stipulations:

4/22/19: New responsible person if approved - Amber Seets, 734-474-1058.
aseets@ltu.edu Josh - joshuavancourt@att.net

NICK HANCOCK 517-641-6000

Routine Inspection | Rod Soos

Status: **Completed** Result: **Partially Approved**
Scheduled: 07/23/2019 12:00 AM Completed: **05/16/2019 03:45 PM**

Violations:

Silt fence taken down to do the final grading needs to be re-established along the street. The silt fence needs to be maintained until vegetation has been established.

Called and spoke with Amber. Went over the SESC requirements. Asked if she had a plan for establishing the lawn and she said that they were not sure yet as they are planning their wedding in 2 weeks. I suggested seed and mulch and watering the lawn so they have the site stabilized by the fall.

Fee Information

Administrative	Residential Major	1.00	250.00
Inspection	Re-inspection	1.00	95.00



Livingston County

2300 E Grand River Ave

Howell, MI 48843

Building Department 517-546-3240

Environmental Health 517-546-9858

Drain Commissioner 517-546-0040

SESC Residential Permit | PSER2018-00616

Property Information

05-01-401-008 6215 SUMMERBROOKE CIR Subdivision: SUMMERBROOKE
FOWLERVILLE MI, 48836 Lot: Block:

Name Information

Owner: SUMMERBROOKE DEVELOPMENT LLC Phone: (517) 294 7774
Occupant: Phone:
Applicant: CVE HOMES Phone: (517) 641 6000
Contractor: CVE HOMES Phone: (517) 641 6000
Licensee: Phone:
License Issued:
License Expires:

Permit Information

Date Issued: 07/23/2018 Date Expires: 07/22/2020 Status: ISSUED

Work Description:

New home, attached garage

Stipulations:

4/22/19: New responsible person if approved - Amber Seets, 734-474-1058.
aseets@ltu.edu Josh - joshuavancourt@att.net

NICK HANCOCK 517-641-6000

Routine Inspection | Rod Soos

Status: **Completed** Result: **Approved**
Scheduled: 05/22/2019 12:00 AM Completed: **05/22/2019 02:02 PM**

Called and spoke with Amber. Went over the SESC requirements. Asked if she had a plan for establishing the lawn and she said that they were not sure yet as they are planning their wedding in 2 weeks. I suggested seed and mulch and watering the lawn so they have the site stabilized by the fall.

Fee Information

Administrative	Residential Major	1.00	250.00
Inspection	Re-inspection	1.00	95.00

Livingston County Soil Erosion and Sedimentation Control Program

SESC Inspections

5607 Radiant Ave – PSER2018-00718

An inspection report was sent on 5/17/2019 following an inspection with WRD. The inspection found that dirt tracked into the street needed to be cleaned and removed. There was also a port-a-potty placed on top of the silt fence. Non-stabilized soil between the road and silt fence was also a concern from WRD for sediment discharge. Livingston County Soil Erosion Inspector Rob Quigley sent a inspection report notice for the dirt in the street on 5/17/2019. A follow up inspection was performed on 5/30/2019 where corrective measures had been taken to bring the site back into compliance. Dirt tracked into the street was cleaned and removed. Vegetation had begun to fill the small flat area between the road and silt fence, where erosion is not a concern. The port-a-potty was also gone and the silt fence was re-established where it was located.



Photo Taken: 6/13/2019



Livingston County Drain Commissioners Office

Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended, and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843

Phone: 517-546-0040 www.livgov.com/drain

05/17/2019

RE: RESIDENTIAL SESC INSPECTION REPORT
 5607 RADIANT AVE
 Permit/Waiver# PSER2018-00718

A recent inspection has revealed the following items that are in need of immediate attention in order to keep your site in compliance:

All dirt tracked into street needs to be cleaned up.

If the above items are not addressed, a violation notice will be issued for the site. Please see images, if attached, of the issues requiring attention.

Respectfully,

Rob Quigley
SESC Inspector
Livingston County Drain Commissioner's Office



Livingston County

2300 E Grand River Ave

Howell, MI 48843

Building Department 517-546-3240

Environmental Health 517-546-9858

Drain Commissioner 517-546-0040

SESC Residential Permit | PSER2018-00718

Property Information

07-04-201-020	5607 RADIANT AVE	Subdivision:	DIAMOND GLEN
	HOWELL MI, 48855	Lot:	Block:

Name Information

Owner:	WESTVIEW CAPITAL LLC	Phone:	(616) 878 1748
Occupant:		Phone:	
Applicant:	ALLEN EDWIN HOME BUILDERS LLC	Phone:	(616) 878 1748
Contractor:	ALLEN EDWIN HOME BUILDERS LLC	Phone:	(616) 878 1748
Licensee:		Phone:	
License Issued:			
License Expires:			

Permit Information

Date Issued:	09/13/2018	Date Expires:	09/12/2020	Status:	ISSUED
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Work Description:

New house, attached garage,

Stipulations:

RAY NOUHAN 248-640-2867 rnouhan@allenedwin.com

Routine Inspection | Rob Quigley

Status:	Completed	Result:	Partially Approved
Scheduled:	09/13/2019 12:00 AM	Completed:	05/17/2019 03:03 PM

Fee Information

Administrative	Residential Major	1.00	250.00
Inspection	Re-inspection	1.00	95.00



Livingston County

2300 E Grand River Ave

Howell, MI 48843

Building Department 517-546-3240

Environmental Health 517-546-9858

Drain Commissioner 517-546-0040

SESC Residential Permit | PSER2018-00718

Property Information

07-04-201-020	5607 RADIANT AVE	Subdivision:	DIAMOND GLEN
	HOWELL MI, 48855	Lot:	Block:

Name Information

Owner:	WESTVIEW CAPITAL LLC	Phone:	(616) 878 1748
Occupant:		Phone:	
Applicant:	ALLEN EDWIN HOME BUILDERS LLC	Phone:	(616) 878 1748
Contractor:	ALLEN EDWIN HOME BUILDERS LLC	Phone:	(616) 878 1748
Licensee:		Phone:	
License Issued:			
License Expires:			

Permit Information

Date Issued:	09/13/2018	Date Expires:	09/12/2020	Status:	ISSUED
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Work Description:

New house, attached garage,

Stipulations:

RAY NOUHAN 248-640-2867 rnouhan@allenedwin.com

Routine Inspection | Rob Quigley

Status:	Completed	Result:	Approved
Scheduled:	05/30/2019 12:00 AM	Completed:	05/30/2019 02:52 PM

Fee Information

Administrative	Residential Major	1.00	250.00
Inspection	Re-inspection	1.00	95.00

Livingston County Soil Erosion and Sedimentation Control Program

SESC Inspections

7136 Ira Lane – PSER2018-01067

A site inspection was completed with WRD on 5/16/2019. Following this inspection a violation notice was sent to the contractor for the tracking mat to be refreshed, sediment in the street, and silt fence maintenance. Re-inspection on 5/22/2019 found that the tracking mat was refreshed with clean stone, the street clean, and the silt fence repaired. A permit transfer inspection occurred on 6/20/2019 where the site remained in compliance.



Photo Taken: 5/22/2019



Livingston County Drain Commissioners Office

Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended, and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843

Phone: 517-546-0040 www.livgov.com/drain

Date: 05/16/2019

RE: RESIDENTIAL SESC VIOLATION NOTICE

Permit/Waiver# PSER2018-01067

SiteAddress: 7136 IRA LN

In order to comply with the Provisions of Part 91 of Act 451 as Amended, those undertaking earth disturbing projects are required to maintain the approved soil erosion and sedimentation control (SESC) measures, to permanently re-stabilize (re-vegetate, hard-scaping, etc.) the disturbed soil within five (5) calendar days of achieving final grade (R323.1709(5)), and to do so prior to the permit/waiver expiring.

If an inspection finds a site is out of compliance, the site will require a re-inspection for which a re-inspection fee is assessed. *If the non-compliance issue is not corrected, or if the SESC measures are not maintained, or re-stabilization is not completed prior to the permit/waiver expiring, the following actions will be taken:*

- *If compliance is not achieved, issuance of new permits/waivers will be denied until the issue has been resolved, and could result in the requirement of a performance bond on all future permits/waivers.*
- *Re-inspection fees will continue to be levied, and renewal fees will be levied if the existing permit/waiver expires prior to completion of the re-stabilization.*
- *Issuance of a Municipal Civil Infraction Notice of Violation Ticket, with a fine of \$250.00 for the first offense.*

We have found your site listed above to be out of compliance due to:

Coarse aggregate tracking mat needs fresh stone to prevent tracking dirt offsite.

All dirt tracked into street needs to be cleaned up.

Silt fence is down/buried in several areas around the site.

You are hereby notified that you have five days from the receipt of this letter to correct the non-compliance noted above and comply with the required SESC measures before we re-inspect your site. A re-inspection fee has been applied to this project for this re-inspection. In addition, we remind you that you are required to re-stabilize the disturbed soil prior to the permit/waiver expiring. We appreciate your prompt attention to this matter. Please contact our office with any questions.

Respectfully,

Rod Soos

SESC Inspector

Livingston County Drain Commissioner's Office



Livingston County

2300 E Grand River Ave

Howell, MI 48843

Building Department 517-546-3240

Environmental Health 517-546-9858

Drain Commissioner 517-546-0040

SESC Residential Permit | PSER2018-01067

Property Information

02-26-301-003	7136 IRA LN	Subdivision:	IRA ACRES
	HOWELL MI, 48855	Lot:	Block:

Name Information

Owner:	VAGNETTI REAL ESTATE VENTURES, LLC	Phone:	(734) 658 9432
Occupant:		Phone:	
Applicant:	LEE, KEVIN	Phone:	(517) 304 6138
Contractor:	LEES HOME IMPROVEMENTS LLC	Phone:	(517) 304 6138
Licensee:		Phone:	
License Issued:			
License Expires:			

Permit Information

Date Issued:	12/03/2018	Date Expires:	12/02/2020	Status:	ISSUED
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Work Description:

New home, attached garage

Stipulations:

Darrell Sparks, 734-658-9432, darrell.sparks@aol.com

Routine Inspection | Rod Soos

Status:	Completed	Result:	Disapproved
Scheduled:	06/03/2019 12:00 AM	Completed:	05/16/2019 03:28 PM

Violations:

Coarse aggregate tracking mat needs fresh stone to prevent tracking dirt offsite.

All dirt tracked into street needs to be cleaned up.

Silt fence is down/buried in several areas around the site.

Fee Information

Administrative	Residential Major	1.00	250.00
Inspection	Re-inspection	1.00	95.00



Livingston County

2300 E Grand River Ave

Howell, MI 48843

Building Department 517-546-3240

Environmental Health 517-546-9858

Drain Commissioner 517-546-0040

SESC Residential Permit | PSER2018-01067

Property Information

02-26-301-003	7136 IRA LN	Subdivision:	IRA ACRES
	HOWELL MI, 48855	Lot:	Block:

Name Information

Owner:	VAGNETTI REAL ESTATE VENTURES, LLC	Phone:	(734) 658 9432
Occupant:		Phone:	
Applicant:	LEE, KEVIN	Phone:	(517) 304 6138
Contractor:	LEES HOME IMPROVEMENTS LLC	Phone:	(517) 304 6138
Licensee:		Phone:	
License Issued:			
License Expires:			

Permit Information

Date Issued:	12/03/2018	Date Expires:	12/02/2020	Status:	ISSUED
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Work Description:

New home, attached garage

Stipulations:

Darrell Sparks, 734-658-9432, darrell.sparks@aol.com

Routine Inspection | Todd Cox

Status:	Completed	Result:	Approved
Scheduled:	05/23/2019 12:00 AM	Completed:	05/22/2019 02:33 PM

Fee Information

Administrative	Residential Major	1.00	250.00
Inspection	Re-inspection	1.00	95.00

Livingston County Soil Erosion and Sedimentation Control Program

SESC Inspections

4606 Ruby Lane – PSER2019-00153

A violation notice was sent on 5/17/2019 following an inspection with WRD. Dirt tracked into the street needed to be cleaned and removed. Tracking mat also needed to be refreshed. A follow up inspection was performed on 5/30/2019 where corrective measures had been taken to bring the site back into compliance.



Photo Taken: 5/30/2019



Livingston County Drain Commissioners Office

Soil Erosion and Sedimentation Control (SESC) Division

Under the Provisions of Part 91 of Act 451 as Amended, and the Livingston County SESC Ordinance

2300 E. Grand River Ave., Suite 105, Howell, MI 48843

Phone: 517-546-0040 www.livgov.com/drain

Date: 05/17/2019

RE: RESIDENTIAL SESC VIOLATION NOTICE

Permit/Waiver# PSER2019-00153

SiteAddress: 4606 RUBY LN

In order to comply with the Provisions of Part 91 of Act 451 as Amended, those undertaking earth disturbing projects are required to maintain the approved soil erosion and sedimentation control (SESC) measures, to permanently re-stabilize (re-vegetate, hard-scaping, etc.) the disturbed soil within five (5) calendar days of achieving final grade (R323.1709(5)), and to do so prior to the permit/waiver expiring.

If an inspection finds a site is out of compliance, the site will require a re-inspection for which a re-inspection fee is assessed. *If the non-compliance issue is not corrected, or if the SESC measures are not maintained, or re-stabilization is not completed prior to the permit/waiver expiring, the following actions will be taken:*

- *If compliance is not achieved, issuance of new permits/waivers will be denied until the issue has been resolved, and could result in the requirement of a performance bond on all future permits/waivers.*
- *Re-inspection fees will continue to be levied, and renewal fees will be levied if the existing permit/waiver expires prior to completion of the re-stabilization.*
- *Issuance of a Municipal Civil Infraction Notice of Violation Ticket, with a fine of \$250.00 for the first offense.*

We have found your site listed above to be out of compliance due to:

All dirt tracked into street needs to be cleaned up.

Coarse aggregate tracking mat needs fresh stone to prevent tracking dirt offsite.

You are hereby notified that you have five days from the receipt of this letter to correct the non-compliance noted above and comply with the required SESC measures before we re-inspect your site. A re-inspection fee has been applied to this project for this re-inspection. In addition, we remind you that you are required to re-stabilize the disturbed soil prior to the permit/waiver expiring. We appreciate your prompt attention to this matter. Please contact our office with any questions.

Respectfully,

Rob Quigley
SESC Inspector
Livingston County Drain Commissioner's Office



Livingston County

2300 E Grand River Ave

Howell, MI 48843

Building Department 517-546-3240

Environmental Health 517-546-9858

Drain Commissioner 517-546-0040

SESC Residential Permit | PSER2019-00153

Property Information

07-04-201-012 4606 RUBY LN Subdivision: DIAMOND GLEN
HOWELL MI, 48855 Lot: Block:

Name Information

Owner: AEG DEVELOPMENT LLC Phone: (616) 878 1748
Occupant: Phone:
Applicant: WRIGHT, ANN Phone: (616) 878 1748
Contractor: ALLEN EDWIN HOME BUILDERS LLC Phone: (616) 878 1748
Licensee: Phone:
License Issued:
License Expires:

Permit Information

Date Issued: 04/26/2019 Date Expires: 04/25/2021 Status: ISSUED

Work Description:

New home, attached garage

Stipulations:

RAY NOUHAN 248-640-2867 rnouhan@allenedwin.com

Routine Inspection | Rob Quigley

Status: Completed Result: Partially Approved
Scheduled: 10/28/2019 12:00 AM Completed: 05/17/2019 02:54 PM

Violations:

All dirt tracked into street needs to be cleaned up.

Coarse aggregate tracking mat needs fresh stone to prevent tracking dirt offsite.

Fee Information

Administrative	Residential Major	1.00	250.00
Inspection	Re-inspection	1.00	95.00



Livingston County

2300 E Grand River Ave

Howell, MI 48843

Building Department 517-546-3240

Environmental Health 517-546-9858

Drain Commissioner 517-546-0040

SESC Residential Permit | PSER2019-00153

Property Information

07-04-201-012	4606 RUBY LN	Subdivision:	DIAMOND GLEN
	HOWELL MI, 48855	Lot:	Block:

Name Information

Owner:	AEG DEVELOPMENT LLC	Phone:	(616) 878 1748
Occupant:		Phone:	
Applicant:	WRIGHT, ANN	Phone:	(616) 878 1748
Contractor:	ALLEN EDWIN HOME BUILDERS LLC	Phone:	(616) 878 1748
Licensee:		Phone:	
License Issued:			
License Expires:			

Permit Information

Date Issued:	04/26/2019	Date Expires:	04/25/2021	Status:	ISSUED
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Work Description:

New home, attached garage

Stipulations:

RAY NOUHAN 248-640-2867 rnouhan@allenedwin.com

Routine Inspection | Rob Quigley

Status:	Completed	Result:	Approved
Scheduled:	05/31/2019 12:00 AM	Completed:	05/30/2019 02:43 PM

Fee Information

Administrative	Residential Major	1.00	250.00
Inspection	Re-inspection	1.00	95.00

Livingston County Soil Erosion and Sedimentation Control Program

SESC Inspections

Willow Woods (Winans Lake Road and Musch Road) – PSOI2017-00018

During a site inspection with WRD on 5/17/2019, WRD conveyed no information that deficiencies were found nor did Livingston County notice any. Within the audit documentation it was stated that some silt fence was not maintained. This site was re-inspected on 5/28/2019 where some silt fence was found to be un-maintained. This un-maintained silt fence was not in the same location that was inspected by WRD. Due to the multiple rows of silt fence that exceed site plans on the slope and relatively abundance of vegetated growth, no violations were issued at this time. Inspection notes for this inspection show that vegetation establishment for stabilization has not yet occurred. An inspection on 7/10/2019 found the site in compliance, but still lacking full stabilization. Livingston County SESC Inspector Bryan Varacalle also noted that additional check dams may be needed where rip/rap diversion was installed.



Photo Taken: 7/10/19



Non maintained silt fence found. Photo taken 7/10/19



Livingston County

2300 E Grand River Ave

Howell, MI 48843

Building Department 517-546-3240

Environmental Health 517-546-9858

Drain Commissioner 517-546-0040

SESC Commercial Permit | PSOI2017-00018

Property Information

16-19-300-004 8501 SPICER RD Subdivision:
BRIGHTON MI, 48116 Lot: Block:

Name Information

Owner: S E MICHIGAN LAND HOLDING LLC Phone:
Occupant: Phone:
Applicant: PAMAR ENTERPRISES Phone: (586) 749 8593
Contractor: PAMAR ENTERPRISES Phone: (586) 749 8593
Licensee: Phone:
License Issued:
License Expires:

Permit Information

Date Issued: 02/08/2017 Date Expires: 02/08/2021 Status: ISSUED

Work Description:

Willow Woods Subdivision - mass grading and utility installation. Phase I. Added Phase 2 3/25/2019

Stipulations:

Chris Cousino, 586-254-4367, ccousino@deiproperties.com

Routine Inspection | Bryan Varacalle

Status: **Completed** Result: **Partially Approved**
Scheduled: 07/10/2019 12:00 AM Completed: **07/10/2019 10:30 AM**

Passed Inspection Item Comments:

Temporary check dam(s) need maintenance.

INSPECTOR COMMENTS: Additional check dam may be needed where rip/rap diversion was installed across Redbay, storm water is washing out maint road.

Inspection Comments

Phone Conversation

Fee Information

Inspection	Commercial Monthly Inspection	24.00	2,000.00
Inspection	Commercial Inspection (First 4 Months)	1.00	400.00
Administrative	Commercial Major	1.00	480.00

Permit Fee	Major Project Fee	1.00	480.00
Permit Fee	Commercial Admin. Fee	1.00	400.00



Livingston County

2300 E Grand River Ave

Howell, MI 48843

Building Department 517-546-3240

Environmental Health 517-546-9858

Drain Commissioner 517-546-0040

SESC Commercial Permit | PSOI2017-00018

Property Information

16-19-300-004 8501 SPICER RD Subdivision:
BRIGHTON MI, 48116 Lot: Block:

Name Information

Owner: S E MICHIGAN LAND HOLDING LLC Phone:
Occupant: Phone:
Applicant: PAMAR ENTERPRISES Phone: (586) 749 8593
Contractor: PAMAR ENTERPRISES Phone: (586) 749 8593
Licensee: Phone:
License Issued:
License Expires:

Permit Information

Date Issued: 02/08/2017 Date Expires: 02/08/2021 Status: ISSUED

Work Description:

Willow Woods Subdivision - mass grading and utility installation. Phase I. Added Phase 2 3/25/2019

Stipulations:

Chris Cousino, 586-254-4367, ccousino@deiproperties.com

Routine Inspection | Bryan Varacalle

Status: **Completed** Result: **Partially Approved**
Scheduled: 05/28/2019 12:00 AM Completed: **05/28/2019 12:00 PM**

Inspection Comments

Phone Conversation

Fee Information

Inspection	Commercial Monthly Inspection	24.00	2,000.00
Inspection	Commercial Inspection (First 4 Months)	1.00	400.00
Administrative	Commercial Major	1.00	480.00
Permit Fee	Major Project Fee	1.00	480.00
Permit Fee	Commercial Admin. Fee	1.00	400.00

Livingston County Soil Erosion and Sedimentation Control Program

SESC Inspections

Green Oak Crossing (Spicer Road and M-36, Hamburg) PSEC2018-00053

During a site inspection with WRD on 5/17/2019, WRD conveyed no information that SESC deficiencies were found nor did Livingston County notice any. Within the audit documentation it was stated that some erosion was observed in the basin. The areas checked on 5/17/2019 did not include a basin, however a low grade area for back yard drainage was checked and contained some minor erosion. This site is not considered final and all temporary soil erosion control measures were correctly installed to compliance. No violations were present during the 5/17/2019 inspection. An Inspection on 7/11/2019 found that the overflow control structure contained too much sediment and debris. The stone around this structure needs to be removed and refreshed. This information was conveyed to the permit holder by phone call. No other deficiencies were seen during this inspection.



Livingston County

2300 E Grand River Ave

Howell, MI 48843

Building Department 517-546-3240

Environmental Health 517-546-9858

Drain Commissioner 517-546-0040

SESC Commercial Permit | PSEC2018-00053

Property Information

16-19-300-002	8110 WINANS LAKE RD	Subdivision:	
	BRIGHTON MI, 48116	Lot:	Block:

Name Information

Owner:	M/I HOMES OF MICHIGAN, LLC	Phone:	(248) 221 5000
Occupant:		Phone:	
Applicant:	M/I HOMES OF MICHIGAN, LLC	Phone:	(248) 221 5000
Contractor:	STANTE EXCAVATING CO	Phone:	
Licensee:		Phone:	
License Issued:			
License Expires:			

Permit Information

Date Issued:	07/10/2018	Date Expires:	07/09/2020	Status:	ISSUED
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Work Description:

Green Oak Crossing, Green Oak Township

Stipulations:

Ron Cook - cook4856@sbcglobal.net - 734-216-1933

Routine Inspection | Bryan Varacalle

Status:	Completed	Result:	Approved
Scheduled:	05/16/2019 12:00 AM	Completed:	05/16/2019 02:03 PM

Fee Information

Administrative	Commercial Major	1.00	480.00
Inspection	Commercial Inspection (First 4 Months)	1.00	400.00



Livingston County

2300 E Grand River Ave

Howell, MI 48843

Building Department 517-546-3240

Environmental Health 517-546-9858

Drain Commissioner 517-546-0040

SESC Commercial Permit | PSEC2018-00053

Property Information

16-19-300-002	8110 WINANS LAKE RD	Subdivision:	
	BRIGHTON MI, 48116	Lot:	Block:

Name Information

Owner:	M/I HOMES OF MICHIGAN, LLC	Phone:	(248) 221 5000
Occupant:		Phone:	
Applicant:	M/I HOMES OF MICHIGAN, LLC	Phone:	(248) 221 5000
Contractor:	STANTE EXCAVATING CO	Phone:	
Licensee:		Phone:	
License Issued:			
License Expires:			

Permit Information

Date Issued:	07/10/2018	Date Expires:	07/09/2020	Status:	ISSUED
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Work Description:

Green Oak Crossing, Green Oak Township

Stipulations:

Ron Cook - cook4856@sbcglobal.net - 734-216-1933

Routine Inspection | Bryan Varacalle

Status:	Completed	Result:	Partially Approved
Scheduled:	07/11/2019 12:00 AM	Completed:	07/11/2019 11:24 AM

Violations:

Stone around the OCS needs to be removed and refreshed, it is choked off with sediment and debris

Fee Information

Administrative	Commercial Major	1.00	480.00
Inspection	Commercial Inspection (First 4 Months)	1.00	400.00

Livingston County Soil Erosion and Sedimentation Control Program

SESC Inspections

Fowlerville Veterinary Clinic (6440 Grand River, Fowlerville) – PSEC2018-00001:

The final site inspection was done on 10/15/18 at which time there was good vegetative stabilization of the entire site. The permit wasn't closed until 2/1/19 as they did not complete submission of the required paperwork and fees until that time. Not all of the vegetation survived through the winter and thin areas were observed during the WRD site inspection 5/17/2019. A call was made on 5/18/2019 by Livingston County Environmental Projects Manager, Mitch Dempsey, to the land owner to inform them that their site was not completely stabilized. By request they have since fertilized and let the vegetation grow which has allowed it to be re-established where it was thin.



Photo: 6/18/2019



Livingston County

2300 E Grand River Ave

Howell, MI 48843

Building Department 517-546-3240

Environmental Health 517-546-9858

Drain Commissioner 517-546-0040

SESC Commercial Permit | PSEC2018-00001

Property Information

05-12-400-024 6440 GRAND RIVER Subdivision:
FOWLERVILLE MI, 48836 Lot: Block:

Name Information

Owner: GWB LLC Phone:
Occupant: Phone:
Applicant: SLIDER BUILDERS INC Phone: (517) 468 3509
Contractor: SLIDER BUILDERS INC Phone: (517) 468 3509
Licensee: Phone:
License Issued:
License Expires:

Permit Information

Date Issued: 01/23/2018 Date Expires: 01/23/2020 Status: **FINALED**

Work Description:
Fowlerville Veterinary Clinic - Handy Twp

Stipulations:
Tom Slider - 517-881-5726

Routine Inspection | Rod Soos

Status: Completed Result: **Approved**
Scheduled: **10/01/2018 12:00 AM** Completed: **10/01/2018 02:08 PM**

Fee Information

Administrative	Commercial Major	1.00	480.00
Inspection	Commercial Inspection (First 4 Months)	1.00	400.00
Inspection	Commercial Monthly Inspection	12.00	800.00

Livingston County Soil Erosion and Sedimentation Control Program

SESC Inspections

Proposed Memory Care Legacy Addition (1500 Byron, Howell) – PSEC2019-00091:

A site inspection on 5/17/2019 with WRD found that some areas were un-stabilized outside of the silt fence boundary, some sediment was evident in the street, and some silt fence contained holes. Livingston County SESC Inspector Rod Soos met on site with contractor (ET Mckenzie) on 5/18/2019 and went over deficiencies. The areas of disturbance outside the silt fence were from landscaping (planting of shrubs) un-related to the project, however the contractor agreed to place silt fence around the area of landscaping as additional protection, as well as replace the silt fence that needed maintenance. Re-inspection on 5/22/2019 found the site in full compliance.



Photo taken: 5/22/19



Livingston County

2300 E Grand River Ave

Howell, MI 48843

Building Department 517-546-3240

Environmental Health 517-546-9858

Drain Commissioner 517-546-0040

SESC Commercial Permit | PSEC2018-00091

Property Information

06-26-200-020 1500 BYRON RD Subdivision:
HOWELL MI, 48855 Lot: Block:

Name Information

Owner: TRILOGY REAL ESTATE HOWELL LLC Phone:
Occupant: Phone:
Applicant: MICHAEL J KITCHEN Phone: (502) 423 0662
Contractor: DMK DEVELOPMENT GROUP Phone: (502) 423 0662
Licensee: Phone:
License Issued:
License Expires:

Permit Information

Date Issued: 12/27/2018 Date Expires: 12/26/2020 Status: ISSUED

Work Description:

Trilogy - Willows Memory Care Legacy Addition - Howell Township

Stipulations:

MICHAEL KITCHEN (in KY) 502-500-9864 mkitchen@dmkdevelopment.com
ARTHUR ARENDT 734-227-9632 aarendt@mackenzieco.com (SWO with E.T. MacKenzie Co in Ann Arbor)
DAVE HETTINGER (in KY) 502-664-5437 dhettinger@dmkdevelopment.com

Routine Inspection | Rod Soos

Status: **Completed** Result: **Partially Approved**
Scheduled: 05/16/2019 12:00 AM Completed: **05/17/2019 12:52 PM**

Violations:

Inspection of site with MDEQ for audit. Silt fence is down in two areas, found two holes in the silt fence, and one joint that was not properly done. Minor earth disturbance outside of the silt fence, appears to be from other landscaping activity. Will call the contractor and go over items with them.

Fee Information

Administrative	Commercial Major	1.00	480.00
Inspection	Commercial Inspection (First 4 Months)	1.00	400.00



Livingston County

2300 E Grand River Ave

Howell, MI 48843

Building Department 517-546-3240

Environmental Health 517-546-9858

Drain Commissioner 517-546-0040

SESC Commercial Permit | PSEC2018-00091

Property Information

06-26-200-020 1500 BYRON RD Subdivision:
HOWELL MI, 48855 Lot: Block:

Name Information

Owner: TRILOGY REAL ESTATE HOWELL LLC Phone:
Occupant: Phone:
Applicant: MICHAEL J KITCHEN Phone: (502) 423 0662
Contractor: DMK DEVELOPMENT GROUP Phone: (502) 423 0662
Licensee: Phone:
License Issued:
License Expires:

Permit Information

Date Issued: 12/27/2018 Date Expires: 12/26/2020 Status: ISSUED

Work Description:

Trilogy - Willows Memory Care Legacy Addition - Howell Township

Stipulations:

MICHAEL KITCHEN (in KY) 502-500-9864 mkitchen@dmkdevelopment.com
ARTHUR ARENDT 734-227-9632 aarendt@mackenzieco.com (SWO with E.T. MacKenzie Co in Ann Arbor)
DAVE HETTINGER (in KY) 502-664-5437 dhettinger@dmkdevelopment.com

Routine Inspection | Rod Soos

Status: **Completed** Result: **Approved**
Scheduled: 05/22/2019 12:00 AM Completed: **05/22/2019 02:30 PM**

Fee Information

Administrative	Commercial Major	1.00	480.00
Inspection	Commercial Inspection (First 4 Months)	1.00	400.00

RESOLUTION

NO: [Title]

LIVINGSTON COUNTY

DATE: Click or tap to enter a date.

Resolution Authorizing the Upgrade of the IVR System and Purchase of SelecTXT Module from Selectron Technologies - Building Inspection

WHEREAS, the Building Inspection Department continually strives to enhance customer service; and

WHEREAS, the Building Inspection department has obtained a negotiated quote to upgrade the existing Selectron Interactive Voice Response (IVR) environment and add the discounted SelecTXT module for \$38,000, subsequent annual fees are expected to be \$14,000, dependent upon system usage; and

WHEREAS, in addition to calling the Selectron IVR system, the SelecTXT module will allow customers to “text” to schedule, cancel or inquire on inspection results; and

WHEREAS, Selectron Technologies has an existing relationship with the Building Inspection department, having supplied an IVR that was/is integrated to their permitting software since 2001; and

THEREFORE BE IT RESOLVED that the Livingston County Board of Commissioners hereby authorizes entering into an agreement with Selectron Technologies to implement the Relay IVR upgrade and SelecTXT module, at the not to exceed cost of \$38,000.

BE IT FURTHER RESOLVED that the Board of Commissioners authorizes the following supplemental appropriations to the Fiscal-Year 2019 Budget as illustrated below:

FUND	Approved 2019 budget	Proposed amendment	Amended 2019 budget
542 – Building Inspection	\$ 3,126,282	\$38,000	\$ 3,164,282

BE IT FURTHER RESOLVED that the Chairman of the Livingston County Board of Commissioners is authorized to sign all forms, assurances, contracts/agreements, renewals and future amendments for monetary and contract language adjustments related to the above upon review and/or preparation of Civil Counsel.

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MOVED:
SECONDED:
CARRIED:



LIVINGSTON COUNTY, MICHIGAN
BUILDING INSPECTION DEPARTMENT

2300 E. Grand River Ave.
Phone 517.546.3240 Fax 517.546.7461
Web Site: <https://www.livgov.com/building>

Memorandum

To: Livingston County Board of Commissioners
From: Jim Rowell
Date: 8/12/2019
Re: Selectron Technologies SelecTXT Product

The Building Inspection Department is focused on providing exemplary customer service. Making sure that our “customers” can easily access our services, 24/7, is a priority. To that end, we implemented new software at the beginning of 2018 which allows the public to engage in permitting activities online.

Our customers have been able to use upgraded versions of our current Interactive Voice Response (IVR) system for nearly 20 years. The system allows users to schedule, reschedule, and cancel inspections, as well as inquiring on inspection results. We’ve discovered that a upgrade to our existing system, will allow us to implement the SelecTXT module. That module allows the customer to schedule, reschedule, cancel and inquire upon inspections. Frequent users will be able to use a “shortcut” version (specific format) text. Users that are not familiar with the shortcuts will be prompted through a series of texts for their desired transactions.

A supplemental budget appropriation of \$38,000 is being requested to cover the cost of the discounted upgrade and implementation of the SelecTXT module.

Relay (IVR) Upgrade	\$24,000	
Relay Cloud Services Outbound	\$6,250	Includes setup, and 20,000 delivered messages
SelecTXT	\$7,750	Includes platform, setup, and 40,000 message bundle
Total	\$38,000	

Subsequent annual fees for the SelecTXT solution is expected to be \$14,000. Actual cost may vary based on usage.

If you have any questions regarding this matter please contact me.

PREPARED FOR: **Livingston County, MI****Price Quote****Relay Upgrade** **\$60,000****Upgrade to Relay Platform, Including Relay Administration Portal**New Virtual Server for Production Relay Permits IVR

Required Components to be Provided by Livingston County:

- Host Server Virtualization Environment: VMWare ESXi 5.1 (or newer)
- Server Image Specifications:
 - Windows 2016, 64-Bit (License to be provided by the County)
 - 250 GB Hard Drive
 - 16 GB RAM
- The County will be responsible for installing the virtual servers in a VMWare ESXi 5.1 (or newer) environment. Virtual Servers & OS will not be covered under the County's Support & Maintenance Agreement with Selectron.

Professional Services for Virtual Production Server Setup & Configuration

Virtual Server Set up, Software Installation, Configuration and Testing
Labor to Procure, Assemble, Configure and Test Server Components and Software
Remote Installation Support and Configuration
System Documentation

Re-Host Four (8) HMP Production Licenses

The County's existing HMP licenses will be re-hosted on the new servers.

Decommission Existing Production VoicePermits IVR Servers

In accordance with the Software License Agreement, the County agrees to decommission the existing Production *VoicePermits* IVR (on a physical server) after cutover to the new Relay Permits IVR (on a virtual server). Selectron's Project Manager will work with the County on software deletion, and will need signoff for confirmation.

Update Existing 8-Port CT ADE Production License Software & Key to Latest Version

This upgrade is only free of charge if the existing 8-port CT ADE license key is sent back to Selectron after cutover to the new Production IVR (with new keys). Otherwise, standard costs for new license keys will apply.

One-Time Discount on Relay Platform Upgrade *(\$36,000)***Total Investment for Relay Upgrade** **\$24,000**

Relay Cloud Services Outbound

Customer Setup (includes Voice, Email, and SMS channels, and Static Notifications)	\$5,000
Automatic Results Notification Setup (created by Selectron)	\$1,500
20,000 Delivered Messages	\$6,000

RCS OUTBOUND SCOPE

The Relay Cloud Services Outbound system offers the following functionality.

- English Notifications with Spanish Add on Option for Dynamic Notifications
- Static Notification: General Information/ non-account specific messages that are configured and recorded by the Customer.
- Dynamic Notifications: Account-specific message created by Selectron that utilizes account specific information that is accessed through a real-time interface OR a flat file provided by the Customer. Dynamic Notifications to be created for Livingston include:
 - Automatic Results Notification
- Flat file information, consisting of call lists and account information, can be uploaded directly on the RCS website or automatically placed and uploaded via an FTP site.
- RCS Outbound has a web-based interface to configure and send messages as campaigns. Campaigns are initiated by the Customer; however, some Target Notifications are automated based on system data.
- A transfer is treated as an additional message in terms of the total bundle of messages purchased by the Customer, and are charged on a per-call basis. A "call" is defined as any valid telephone connection (does not include telephony errors and no answers). A single call is up to 4 minutes in length; each subsequent period up to 4 minutes is considered an additional call.

Outbound messages are purchased in annual message bundles. Messages, as defined by the agreement, that are not used rollover to the next qualifying renewal. The rollover messages from one period may only be used to offset overages in the next immediate period. If there are no overages from one period, the rollover messages from the prior period expire.

A qualifying renewal is one that is equal to or greater than the previous period. If customer chooses to reduce their annual plan renewal, rollover messages do not apply.

<i>Discount for purchase with Relay Upgrade</i>	<i>(\$6,250)</i>
Total Investment for RCS Outbound	\$6,250

SelecTXT – Inspection Scheduling *(Requires Relay IVR)*

Setup Fee	\$7,500
Annual Platform Fee	\$5,000
Message Bundle- 40,000 Messages	\$3,000
<i>Discount for purchase with Relay Upgrade</i>	<i>(\$7,750)</i>
Total Investment for SelecTXT	\$7,750

The SelectTXT Inspection Scheduling offers the following functionality:

- Allows contractors and users to manage their inspection requests and results from a mobile device
- Schedule, Reschedule and Cancel inspection dates via an interactive text message conversation
- View inspection results
- Provides both simple step-by-step menu-driven and “power user” entries

Scheduling, rescheduling and cancelling inspections requires a text message “conversation” back and forth between the application and the mobile user, where the application requests specific permit-related information and the mobile user provides responses. A conversation consists of multiple text messages for each inspection request process.

SMS messages adhere to standard text message usage conventions, with a limit of 160 characters including spaces. If messages exceed the 160 character limit they may be split into multiple SMS text messages, therefore using more than one message.

Livingston County Pricing Summary

1. Relay Upgrade	\$24,000
2. Relay Cloud Services Outbound	\$6,250*
3. SelectTXT	\$7,750*
Total Investment	\$38,000

*Discounted pricing above requires the purchase of the relay Upgrade

Three-Year Overview

Product	Year 1	Year 2	Year 3
Relay	\$24,000	0	0
Outbound	\$6,250	\$6,000	\$6,000
SelectTXT	\$7,750*	\$8,000*	\$8,000*
Total	\$38,000	\$14,000	\$14,000

*Includes 40,000 messages. These are estimates and may change based on actual usage

Required Items Not Included in This Quote:

- Existing Network Services & SIP Trunks
- Virtual Host Server, OS License, and Virtualization Environment

- All required applicable interfaces and licensing for access to data

SELECTRON PRODUCT AND SERVICE PRICING & PAYMENT INFORMATION

Pricing does not include additional application integration charges that may be required as part of this solution. This includes Application Vendor API, user, or implementation fees, additional licensing fees, or other surcharges directly or indirectly charged by or remitted to the Application Vendor.

PAYMENT TERMS

Receipt of a Purchase Order by the Customer will constitute acceptance of the terms and conditions utilized in the Professional Services Agreement executed with the initial purchase of your interactive system.

RELAY IVR UPGRADE

SETUP FEE PAYMENT SCHEDULE

45% Invoiced at time of execution of contracts

55% Invoiced when products purchased are delivered and made available for testing

RCS OUTBOUND

SETUP FEE PAYMENT SCHEDULE

100% Invoiced at time of execution of contracts

PRE-PAID MESSAGE BUNDLE FEE SCHEDULE

100% Invoiced when solution is delivered and made available for testing and then 45 days prior to anticipated reload of messages.

SELECTXT

SETUP FEE PAYMENT SCHEDULE

100% Invoiced at time of execution of contracts

ANNUAL PLATFORM FEE SCHEDULE

100% Invoiced when products purchased are delivered and made available for testing and then 45 days prior to annual renewal of bundle or as needed prior to renewal.

Text messages are purchased in annual message bundles. SelecTXT bundles will be priced separately from other types of text messages, including Outbound SMS bundles. Messages, as defined by the agreement, that are not used will rollover to the next qualifying renewal. The rollover messages from one period may only be used to offset overages in the next immediate period. If there are no overages from one period, the rollover messages from the prior period expire. A qualifying renewal is one that is equal to or greater than the previous period. If customer chooses to reduce their annual plan renewal, rollover messages do not apply.

PREMIERPRO ON-GOING SUPPORT

An active Support and Maintenance Agreement and all applicable fees are required as qualification for the discounted pricing offered in this quote. Based upon evaluation of the items contained in this quote, Support and Maintenance fees will be adjusted accordingly upon the next renewal of the active Support and Maintenance Agreement.

TAXES

Sales Tax or any other applicable taxes are **NOT** included in any of this proposal's pricing information. If taxes become applicable, these taxes will then need to be added to the proposed pricing.

RESOLUTION

NO: [Title]

LIVINGSTON COUNTY

DATE: [Click here to enter a date.](#)

Resolution Authorizing the Sheriff's Office and the County of Livingston to Apply for FY 2020 Byrne Justice Assistance Grant - Sheriff

WHEREAS, the Livingston County Sheriff's Office wishes to enter an application into the FY2020 Byrne Justice Assistance Grant, through the Michigan State Police, under the Technology Enhancement Projects section; and

WHEREAS, the purpose of the grant is to acquire funding to make technology enhancements to the Sheriff's Office through the purchase of new equipment and software; and

WHEREAS, the state funding are a one-time funds that do not require any County matching or cash match funds; and

WHEREAS, the County of Livingston will be applying to receive up to \$350,000 in reimbursement funds from the State of Michigan, through the Byrne Justice Assistance Grant.

THEREFORE BE IT RESOLVED that the Livingston County Board of Commissioners hereby authorizes the Sheriff's Office to apply and if awarded enter into contract with the State of Michigan, for the Byrne Justice Assistance Grant wherein Livingston County could receive a maximum of \$350,000 in State reimbursement funds effective October 1, 2019 through September 30, 2020.

BE IT FURTHER RESOLVED that the Chair of the Livingston County Board of Commissioners is authorized to sign all forms, assurances, contracts, agreements, amendments and support documents related to the 2020 Byrne Justice Assistance Grant upon review by Civil Counsel.

BE IT FURTHER RESOLVED that the Board of Commissioners authorize any budget amendment necessary to effectuate this \$350,000 grant award.

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MOVED:
SECONDED:
CARRIED:



LIVINGSTON COUNTY SHERIFF DEPARTMENT

**150 S. Highlander Way
Howell, Michigan 48843-2323
(517) 546-2440 ext. 7983
csell@livgov.com**

DATE: August 6, 2019

TO: Livingston County Board of Commissioners

FROM: Sergeant Chad Sell

RE: 2020 Byrne Justice Assistance Grant

The Livingston County Sheriff's Office is requesting approval to apply for the FY2020 Byrne Justice Assistance Grant offered through the Michigan State Police.

Through this competitive grant the Sheriff's Office may obtain a one-time reimbursement of up to \$350,000 from the State of Michigan to purchase equipment. There are no matching funds required from the County if the Sheriff's Office is awarded the grant.

The main purpose of the program is to provide agencies with funding to make purchases of equipment that can dramatically improve the ability to investigate, document and solve crimes through the use of new technology.

RESOLUTION

NO: [Title]

LIVINGSTON COUNTY

DATE: [Click here to enter a date.](#)

Resolution Authorizing the Sheriff's Office and the County of Livingston to Apply for and Enter Into Contract with the State of Michigan, Office of Highway Safety Planning for Fiscal Year 2020 Secondary Road Patrol and Traffic Accident Prevention Program Grant - Sheriff

WHEREAS, the Livingston County Sheriffs' Department wishes to continue the operation of the Secondary Road Patrol and Traffic Accident Prevention Program for state fiscal year 2020; and

WHEREAS, the County of Livingston will be receiving up to \$87,720 in reimbursement funds from the State of Michigan, Office of Highway Safety Planning for participation in the 2020 Secondary Road Patrol and Accident Prevention Program.

THEREFORE BE IT RESOLVED that the Livingston County Board of Commissioners hereby approves the submission of application to enter into a contract with the State of Michigan, Office of Highway Safety Planning wherein Livingston County will receive a maximum of \$87,720 in State reimbursement funds effective October 1, 2019 through September 30, 2020.

BE IT FURTHER RESOLVED that the Chair of the Livingston County Board of Commissioners is authorized to sign all forms, assurances, contracts, agreements, amendments and support documents related to the 2020 Secondary Road Patrol and Accident Prevention Program upon review by Civil Counsel.

BE IT FURTHER RESOLVED that the Board of Commissioners authorize any budget amendment necessary to effectuate this \$87,720 grant award.

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MOVED:
SECONDED:
CARRIED:



LIVINGSTON COUNTY SHERIFF DEPARTMENT

**150 S. Highlander Way
Howell, Michigan 48843-2323
(517) 546-2440 ext. 7983
csell@livgov.com**

DATE: August 6, 2019

TO: Livingston County Board of Commissioners

FROM: Sergeant Chad Sell

RE: 2020 Secondary Road Patrol Grant offered by the State of Michigan Office of Highway Safety Planning

The Livingston County Sheriff's Office has been invited to participate in the State of Michigan, Office of Highway Safety Planning Secondary Road Patrol and Accident Prevention Program grant for State fiscal year 2020.

The State of Michigan, Office of Highway Safety Planning has offered Livingston County Sheriff Department up to \$87,720 in state reimbursement funds for participation in the program.

Continued participation in this grant opportunity will allow the Sheriff to maintain officers dedicated specifically to traffic enforcement and accident prevention within Livingston County.

The main purpose of the program is to increase traffic enforcement on secondary roads within Livingston County thereby reducing the number of traffic related incidents. The Livingston County Sheriff's Office has participated in the Secondary Road Patrol and Accident Prevention Program for a number of years in the past. I am requesting that the Board of Commissioners support the submission of the application and enter into contract with the State of Michigan, Office of Highway Safety Planning for fiscal year 2020. Your support will allow the Sheriff's Office to continue a vital service to our County.